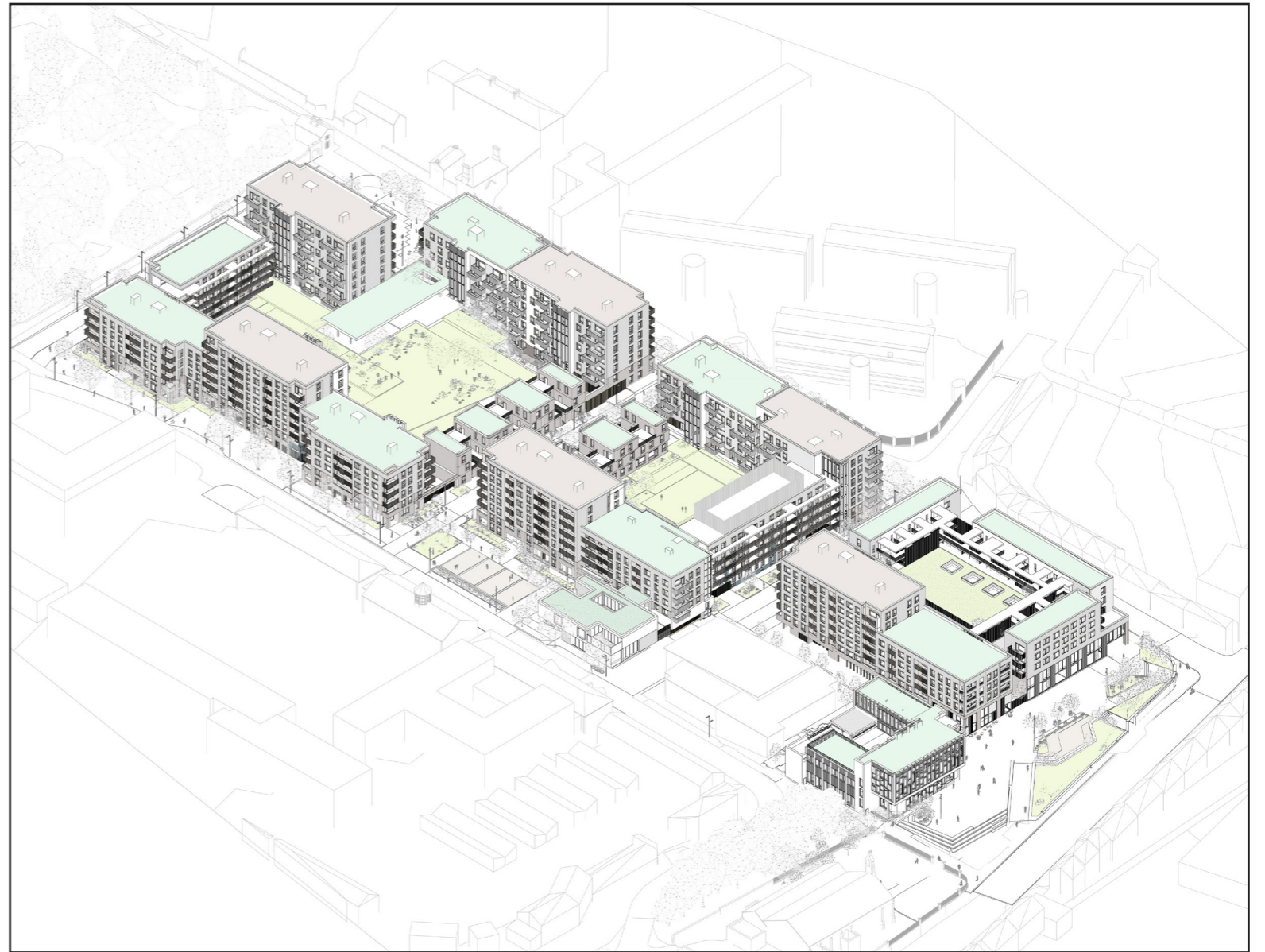


**Emmet
Road
Inchicore**



EMMET ROAD MIXED USE DEVELOPMENT, DUBLIN 8
ARCHITECTURAL & URBAN DESIGN STATEMENT

bucholzmcevoyARCHITECTS

OCTOBER 2022
PLANNING APPLICATION

TITLE

TABLE OF CONTENTS :

1.0 INTRODUCTION

- 1.a Summary of Development
- 1.b Site Description

2.0 SITE CONTEXT & ANALYSIS

- 2.a Site Location
- 2.b Site Context
- 2.c Architectural Heritage

3.0 MASTERPLAN & URBAN DESIGN APPROACH

- 3.a Urban Design Principles
 - Summary
 - Massing and Heights
 - Distribution of Uses
 - Permeability
 - Connectivity
 - Active Street-scapes
- 3.b New Public Spaces and New Public Streets
- 3.c Sustainability & Climate Resilience
 - Biodiversity & Ecology
 - Sustainable Urban Drainage
 - Site Energy & Infrastructure Strategy
- 3d. Heritage / Conservation Strategies

4.0 BUILDING DESIGN PROPOSALS

- 4.a Blocks A and B : Residential
 - Block Layout & Design strategies
 - Environmental & Daylight strategies
 - Universal Access principles
- 4.b Creche
- 4.c Community Hub Library
 - Building Layout / strategies \
 - Environmental strategies
- 4.d Block C : Mixed Use Building
 - Block Layout & Design strategies
 - Residential Unit Design

5.0 FACADES AND MATERIALITY

- 5.a Design Intent / Typical Bay Studies

6.0 APPENDICES:

- Blocks and Typologies
- Design Evolution

1. INTRODUCTION

1.A SUMMARY OF DEVELOPMENT

Introduction

This is the Design Report for the proposed Mixed Use Development at Emmet Road, Inchicore, Dublin.

Dublin City Council appointed an integrated architect led design team led by Bucholz McEvoy Architects to prepare the design submitted for planning permission under Part 10 of the Planning Regulations for the redevelopment of lands at Emmet Road, Inchicore, Dublin 8 including the site of the former Saint Michael's Estate. The development consists of 578 homes, a Community Hub Library, a Creche, a Supermarket, Retail Units, associated public realm and landscape works, and a series of new public open spaces to create a vibrant new neighbourhood in Inchicore with a rich diversity of residents supported and sustained by a mix of uses and facilities.

2.A SITE LOCATION & DESCRIPTION

The site at Emmet Road, Inchicore is located ca. 4km west of the city centre. It extends to 4.6825 hectares and is bounded by Emmet Road to the north, by a stone boundary wall structure along the North and North-western edge of the site, Goldenbridge Cemetery to the south, Patriot's Path with former Richmond Barracks buildings to the east and St. Vincent's Street West to the west. The geometry of the site is a rectangle approximately 350m long with width varying from 105-115m in an east west direction. There are a mixture of existing buildings, existing hard landscaped areas and existing brown-field space.

Vehicular access to the site exists from Emmet Road, from Saint Vincent Street West to the west of the site and from Bulfin Road and Patriots Path to the east of the site. Pedestrian paths exist on north, east, and west edges with pedestrian linkages to the tow path along the Grand Canal to the south of the site. The site is well served by public transport - the Red LUAS line runs along the canal to the south of the site (between Goldenbridge and Drimnagh stops, and a new Bus Connects line is due to be implemented along Emmet Road to the north of the site. The site is gently sloping in a broadly southwest to northeast direction. The highest point of the site is located in the southwestern corner of the site adjacent to the gatehouse of Goldenbridge Cemetery at 27.5m OD. The ground level falls by approximately 1m along the length of the boundary wall to Goldenbridge Cemetery to 26.5m OD at the south eastern corner of the site. Levels fall to approximately 24m OD adjacent to the existing Community Sports Centre across a length of c. 240m. The gradual 1 in 70 fall continues across the northern portion off the site up to the boundary with Emmet Road. At this point, the fall in level is more pronounced with the boundary wall forming a retaining wall maintaining the higher levels on the site than on the road, characterised by a 1.5m level drop at the northwest corner to the public footpath along Emmet Road. The level difference is less pronounced to the front of the HSE Eve Tuiscint Health Centre and the ground slopes down at the entrance to provide vehicular access from Emmet Road. St Vincent Street West mirrors the site topography generally. The road falls generally gradually from the southern end towards the north at an approximate gradient of 1 in 100 from Goldenbridge Cemetery to the junction with Thomas Davis Street West.

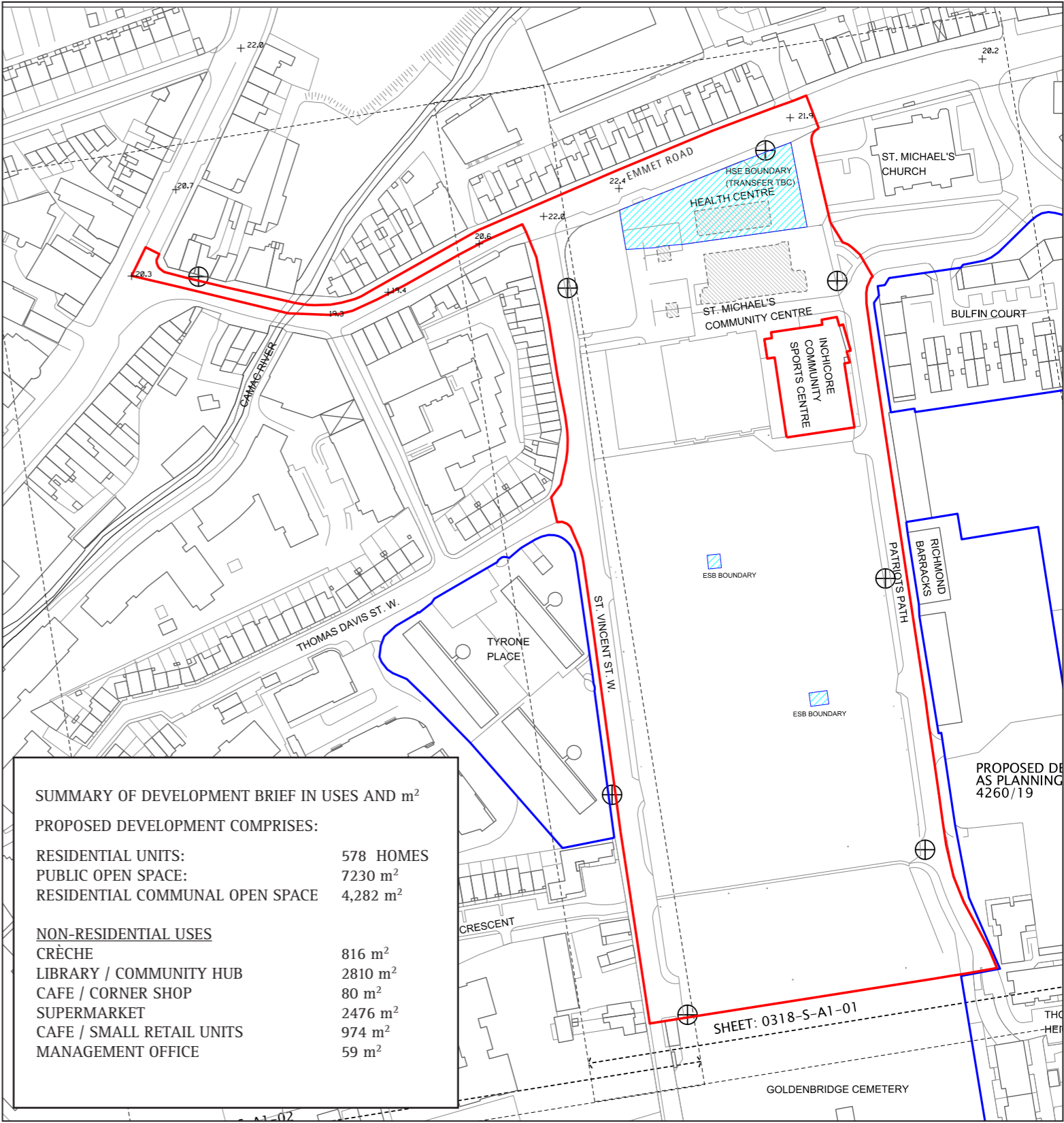
The Site was the location of the former St. Michael's Estate (Dublin City Council social housing accommodation) to the south, now demolished. Existing social and community facilities to the north of the site demolished or to be demolished to include:

- The Celtic Pigeon Club, demolished - as per separate Part 8 application
- St. Michael's Community Centre, to be demolished - as per separate Part 8 application
- HSE Health Centre, to be demolished - as per separate Part 8 application

The existing Inchicore Sports Community Building is to be retained, and is not part of the planning application.

The subject planning application was developed in consultation with Dublin City Council and takes cognizance of Local Planning Policy Documents including the Dublin City Council Development Plan 2016 - 2022.

This document is to be read in conjunction with all other documents submitted with this planning application and in particular the EIAR and Planning Statement prepared by John Spain Associates.



Site Location Map

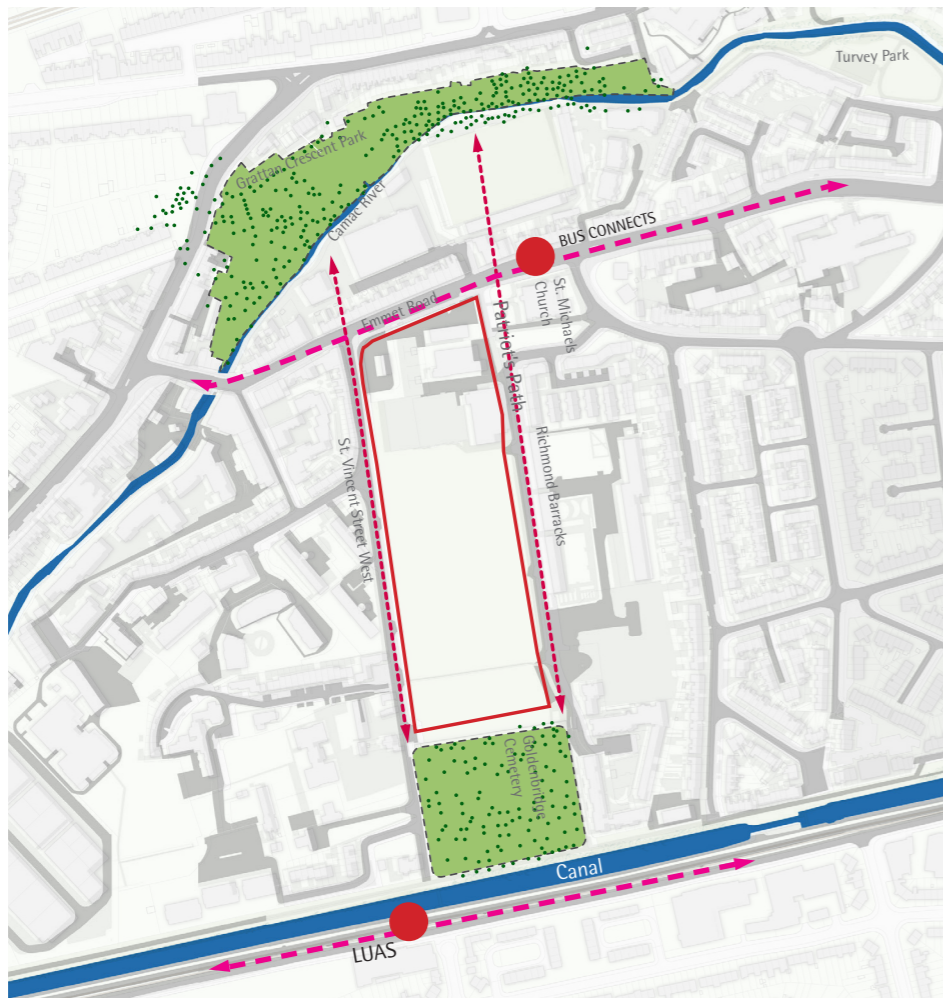
2. SITE CONTEXT & ANALYSIS

2.A SITE LOCATION & DESCRIPTION

The site is located between two water bodies (the Camac River and the Canal) and is set in a context of green spaces (such as Turvey Park, Grattan Park, Richmond Barracks garden, and Goldenbridge Cemetery,) and urban fabric of various scales.

The site context includes many types of green spaces, from private gardens to public parks, an important characteristic of Inchicore.

The site is served by public transport with the LUAS line to the south within 75m of the site and the newly planned 'Bus Connects' corridor running along Emmet Road and there is potential to make strong connections with this network.



Map indicating connections to public transportation, green spaces and water bodies.



Map collating site context observations of green spaces in vicinity

2. SITE CONTEXT & ANALYSIS

2.B SITE CONTEXT

The surrounding context is diverse: to the north is the Camac river and Richmond Park, to the west is Tyrone Place social housing, to the south is Goldenbridge Cemetery, the LUAS, and the Grand Canal, and to the east is Richmond Barracks and St. Michael's Church. To the southeast is Thorton Heights Social Housing and a forthcoming DCC Housing With Supports Scheme..



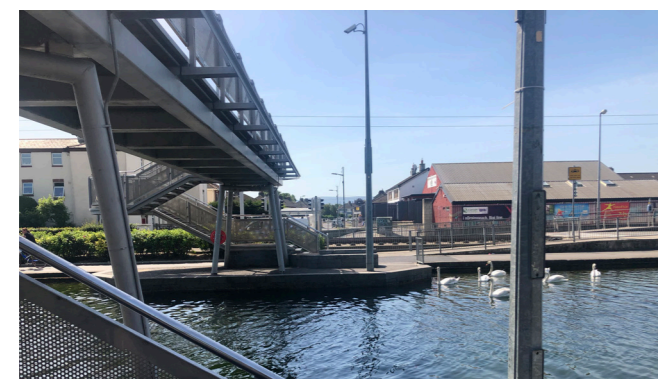
Camac River



Tyrone Place DCC Social Housing



Our Lady of Lourdes Primary School & CORE Youth Centre



Canal / LUAS Line looking south



Richmond Park



Richmond Barracks Visitors Centre, former Gymnasium



Thorton Heights DCC Social Housing



Goldenbridge Cemetery looking east

2. SITE CONTEXT & ANALYSIS

2.B SITE CONTEXTUAL PHOTOS - VIEWS OF THE SITE



Tyrone Place to the west of the site as seen from Richmond Barracks



Along Emmet Road looking East towards St Michael's Church



Wall of Former Richmond Barracks from Emmet Road looking South down St. Vincent Street West



From St. Vincent Street West at Goldenbridge Cemetery gate looking north

2. SITE CONTEXT & ANALYSIS

2.B SITE CONTEXTUAL PHOTOS - APPROACHES TO THE SITE



Approach to Patriot's Path along Emmet Road from east



Approach from Inchicore Village along Emmet Road looking at northwest corner of site



Approach from west along Bulfin Road : Bulfin Senior Citizens Housing to left

Grove of Trees

St. Michael's Church

2. SITE CONTEXT & ANALYSIS

2.C ARCHITECTURAL HERITAGE (refer to Architectural Heritage Report for further details)

The project is located on the site of the old Richmond Barracks. Remnants of the (A) Barracks and other cultural heritage elements around the site such as (B) Goldenbridge Cemetery, St. Vincents Convent at the end of Emmet Crescent, (C) St. Michael's Church, and the remnants of the (D) Barrack wall along Emmet Road and St. Vincent Street West offer key Reference points for the project.



(A) Richmond Barracks Hall and HSE Building West Facade



(B) GoldenBridge Cemetery Gatehouse



(D) Emmet Road and St. Vincent Street West Junction @ Historic Boundary Wall of former Richmond Barracks looking East

2. SITE CONTEXT & ANALYSIS

2.C ARCHITECTURAL HERITAGE (refer to Architectural Heritage Impact Assessment for further details)

The site is surrounded by elements of architectural heritage. To the west at the end of Emmet Crescent is the Goldenbridge Integrated Complex / St. Vincents Convent, and the Mercy Convent Gate Lodge at the entrance to Emmet Crescent, and to the south is Goldenbridge Cemetery.



Emmet Road looking east to C St Michael's Church



B Goldenbridge Cemetery, corner of southeast wall



Goldenbridge Integrated Complex, St Vincents Convent



Mercy Convent Gate Lodge at Emmet Crescent

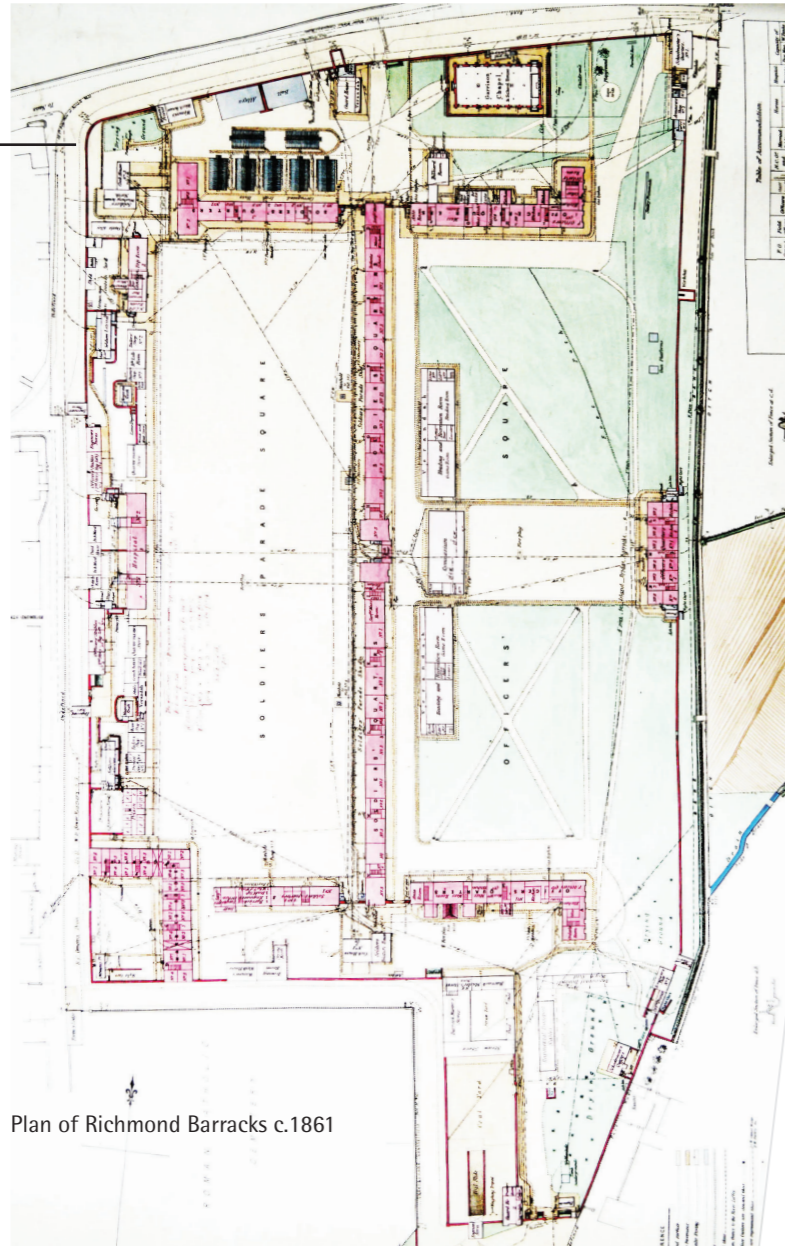
2. SITE CONTEXT & ANALYSIS

2.C SITE HERITAGE (to be read in conjunction with the Architectural Heritage Impact Assessment)

The urban and social fabric of Inchicore has developed over time surrounding the original structure of Richmond Barracks and the infrastructure related to it. The site has been in continuous use by large groups of people as housing - first an army, then civilians.

It is noted that memories of the communities built in the Keogh Square and St. Michael's Estate residential developments remain strong as many people who grew up in these estates still live locally.

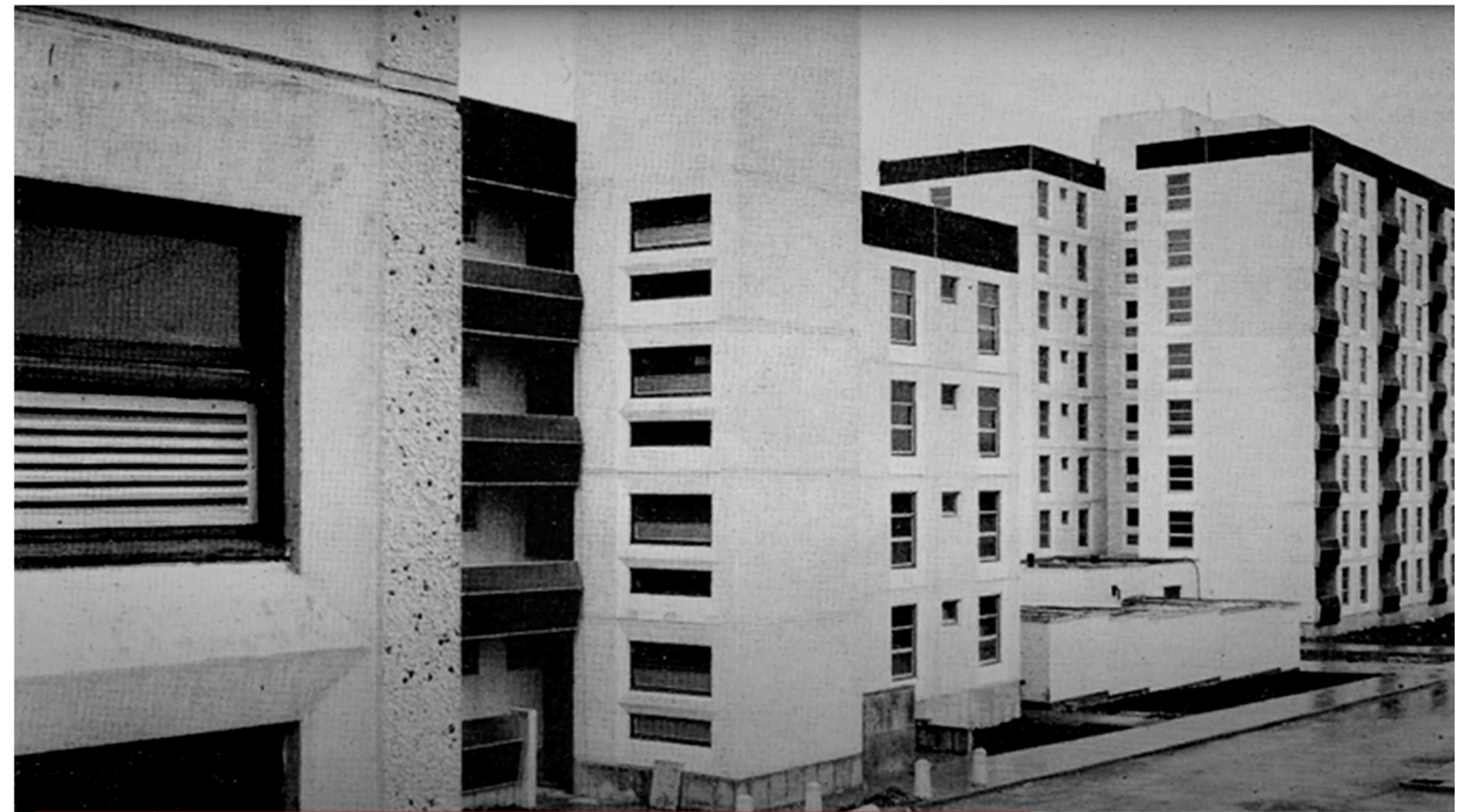
The north western corner of the site is delineated by remnants of the original boundary wall of the barracks that extends for approximately 60m with frontage onto St Vincent Street West and Emmet Road, which previously formed the boundary of the Richmond Barracks. The wall is approximately 3.5m - 4.5m in height along St Vincent Street West with the top of wall dropping to be approximately 2.5m above footpath level at the junction with Emmet Road. The wall has been altered over the years, however three of the ordinance survey boundary stones remain, and a portion of the wall set in a curve.



Plan of Richmond Barracks c.1861



Richmond Barracks grounds looking north



St. Michael's Estate 1969, Architect Arthur Swift & Partners

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES

The site is surrounded by many significant public services which offer health care, education, sports and youth services, day-care for children, places of worship, places of business, athletic clubs, residents associations. It lies at the centre of a strong residential quarter, with a variety of tenure types of housing, in apartment buildings and terraced houses all in close proximity. This rich community context was explored through desktop study and via a number of community events with materials organised under a series of themes for discussion. Out of this process opportunities were observed for the project to build on and strengthen the context and support the community fabric, improve connections and facilities, offer new public spaces and bring vibrancy and life to the heart of Inchicore. An image (to right) was designed as part of the community consultation process that described the composition of the community context in terms of types of uses from observations gathered.

The project intent is to create an urban framework for a vibrant new neighbourhood and residential community, with affordable, sustainable, energy efficient homes, supplemented and supported by community facilities and a neighbourhood centre including a supermarket fronting onto the northern edge at Emmet Road. The masterplan approach is driven by a place-making agenda promoting shared spaces to enhance the lives of both the residents and the surrounding community, whilst encouraging social activity in a pedestrian and cycle friendly public realm, attractive and accessible to all.

Analysis of the context, opportunities and constraints of the site have informed the Masterplan and Urban Design approach which seeks to address:

- Context – taking into account the specificity of this site and community context and employing the existing architectural heritage to create a strong sense of Place
- Connections & Permeability – by creating connections and permeability across the site, stitching the new neighbourhood into existing and anticipated desire lines
- Inclusivity –offering a public realm, homes, community facilities and landscaped open spaces, that are universally accessible to people of all ages and abilities
- Variety – providing places and spaces of different uses, sizes and character for living, socialising, and retailing to support a diverse and vibrant neighbourhood
- Distinctiveness - grounding the scheme in its specific locale and community, with a quality communal realm promoting a strong sense of identity
- People friendly layout - organising the scheme around pedestrian and cycle friendly public and private spaces all integrated into an extensive green landscape
- Safe secure and enjoyable Public Realm – organising the form & massing in well-proportioned, overlooked public places and linking spaces extensively landscaping offering amenity opportunities
- Privacy & Amenity – provision of private amenity space for all residents in the form of balconies or gardens buffered and /or screened for privacy as appropriate
- Efficiency – co-location of facilities and sharing of services, optimising layout efficiencies whilst balancing the quality of both public and private realms
- Secure&attractiveparking–byprovidingparkingforvehiclesandbikesdistributed across the site in safe, secure, visually attractive and convenient locations.
- Adaptability – optimising natural daylight to homes & community facilities, integrating sustainable urban drainage throughout offering climate change resilience and allowing for layout changes.
- Detailed Design - careful design of public & private realms, transition and threshold spaces, using a robust and durable material palette carefully detailed.

Goldenbridge Integrated Complex
The Mercy Secondary School
CORE Youth
Our Lady of Lourdes National School



Diagram of site and context indicating observations of local uses

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES

The Masterplan approach aims to stitch together and enhance connections between the east (Bulfin Road area) and the west of the site (Inchicore village), and between the north (Emmet Road & Camac River) and the south (Goldenbridge & the Canal), creating continuity of the urban realm that can support stimulate and encourage the wider sustainable development of Inchicore as a strong, functional, and vibrant urban centre. Activation of the Emmet Road frontage with new community facilities will serve to bring a new civic focus to the site and an act as an invitation to this new residential quarter.

A number of specific site opportunities were identified to which the Masterplan responds, including:

- potential to create a public realm anchored by a series of new public spaces addressing existing architectural heritage elements bringing specific character and a strong sense of place
- potential to co-locate the Community and Library facilities in a single building; the Community Hub Library, facilitating mutual benefits from synergies and interrelationships between user groups, optimizing usage of all
- potential to provide a new Civic building (Community Hub Library) with a strong street presence to activate the public realm and new civic space along Emmet Road, whilst offering an attractive gateway & invitation, with careful treatment of the interface with the existing Sports Centre to the residential community beyond
- potential to recreate strong street edges along north south streets, St Vincent Street West and Patriot's Path, improving the public realm in these locations whilst enhancing connections to public transport (Luas to south and BusConnects to north)
- potential to create a number of east-west connections mitigating against current divisions, offering pedestrian and cycle permeability, whilst opening up visual connections to the Richmond Barracks façade from the west
- potential to optimize the quantum of landscaped green space on the site, using a 'garden courtyard' model, offering amenity for residents, supporting bio-diversity and optimizing landscape integrated SUDs for climate resilience

The design intent for the public realm is characterised by well landscaped streets and shared surfaces that prioritise pedestrian and cycle movements, with integrated cycle parking and car parking, offering places for social interaction. A number of organizing principles emerged reflecting the opportunities identified, and have underpinned the development of the Masterplan:

- A public realm anchored in the existing architectural heritage reinforcing a strong sense of place
- Three new public spaces formed addressing Richmond Barracks, Goldenbridge Cemetery, St. Michaels Church
- Permeability and connectivity introduced with new North-South and East-West routes with shared streets offering an accessible pedestrian friendly public realm
- Urban Street edges re-made along the east (Patriot's Path) and west (St Vincents St. West) of the site
- Activate Street Fronts by locating entrances and communal uses along their edges offering an overlooked safer public realm
- Form housing around a Courtyard Model, defining public, communal & private realms, and landscaped open spaces
- Varied massing and scale to create modulated street edges and landscaped zones
- Integrated routes for vehicles, bikes, and to/from public transport supporting Sustainable Mobility patterns



Urban Design is aimed at connecting Inchicore with Bulfin, and Emmet Road with the Canal in a safe and continuous urban realm.

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES

In developing the urban design approach, a number of critical aspects, opportunities, and constraints have been considered within the design in order to create an urban design strategy that will enhance the existing context by :

- **Creating a public realm anchored in the architectural heritage of the context with a strong sense of place.** Within the design architectural heritage elements are treated as anchors for the new public realm locating the project firmly within the history and heritage of the locale, reinforcing a sense of place and identity.
 - (A) Richmond Barracks
 - (B) Goldenbridge Cemetery
 - (C) St Michael's Church
 - (D) Historic Barrack Wall
- **Creating new public spaces:** The creation of three new urban spaces for Inchicore, that spatially frame a dialogue between the new architecture and the existing architectural heritage of Richmond barracks, St. Michael's church and Goldenbridge Cemetery, and create a new formal public space in front of Richmond Barracks, and a new public space at the entrance to Goldenbridge Cemetery -
 - 1 Emmet Place*
 - 2 Richmond Place*
 - 3 Goldenbridge Place*

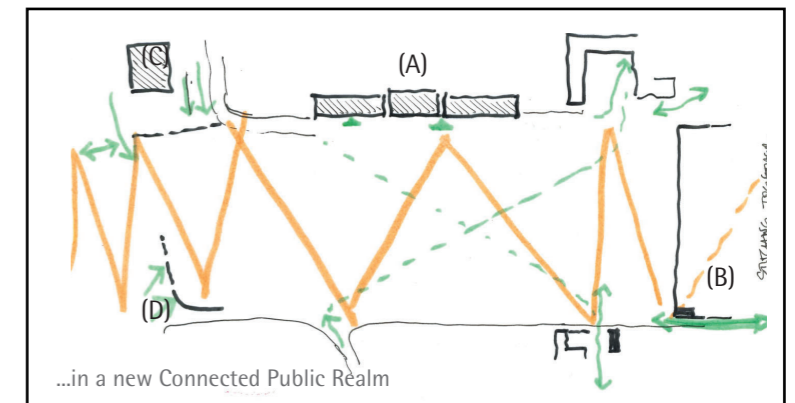
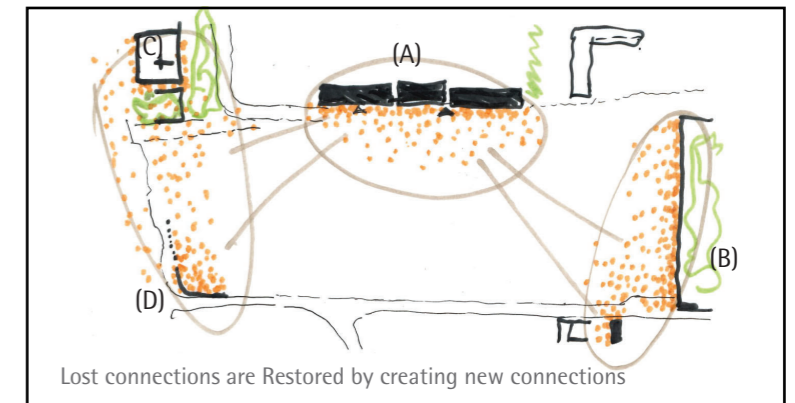
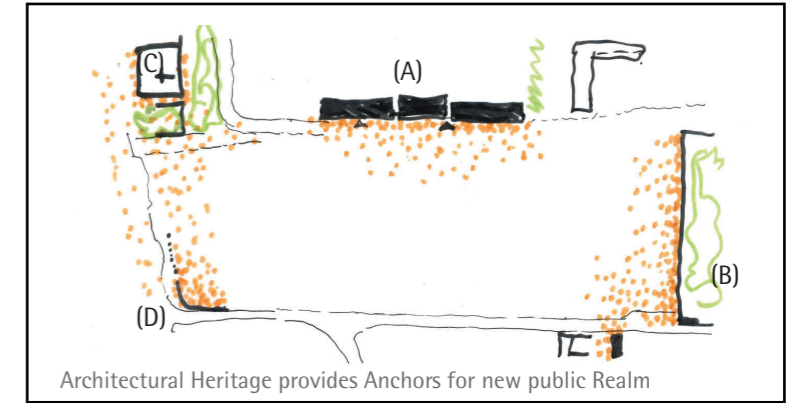
*Please note that all references to names of public spaces are placeholder names and subject to future naming process.



Architectural Heritage anchors for new public realm.



Three New Public Spaces anchored by historic fabric



C. St. Michael's Church at 1 Emmet Place*



A. Richmond Barracks at 2 Richmond Place*

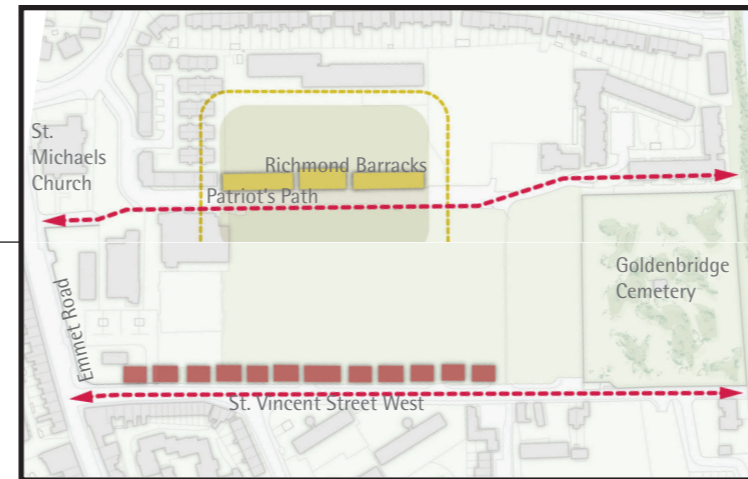


B. Goldenbridge Cemetery Gate House at 3 Goldenbridge Place*

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES

- **Re-Making Urban Streets** : Re-constructing the urban character of the streets along 1. St. Vincent Street West and 2. Patriot's Path. The establishment of strong, active, green street edges that are continuous with the Urban Realm of the City of Dublin and form part of the tradition of street making with broad generous footpaths, lighting, tree planting and integrating sustainable urban drainage, public seating, that are active with life and are passively surveilled.
- Patriot's Path is a significant north-south aligned street connecting Emmet Road and the Canal, with subtle shifts along its axis that are addressed carefully with facades use the shifts as points of engagement with the project.
- St. Vincent Street West is a significant north-south aligned street that connects Emmet Road with Goldenbridge Cemetery and the Canal Towpath and LUAS stop. Active Street frontage is proposed continuously along the street.



Reconstructing St. Vincent Street West and Patriot's Path



St. Vincent Street West



'Patriot's Path

A key objective of the design is to re-establish urban, civic, safe streets; St Vincent Street West and Patriots Path are significant North / South streets that provide urban coherence with the development's edges, and will be restored by the design. Patriot's Path will re-establish civic coherence by reflecting the strong linear presence of the Barracks buildings, and offer a significant backdrop for the new public place whose form addresses it. St. Vincent Street West connects Emmet Road with the LUAS stop and is a very important pedestrian artery in Inchicore.

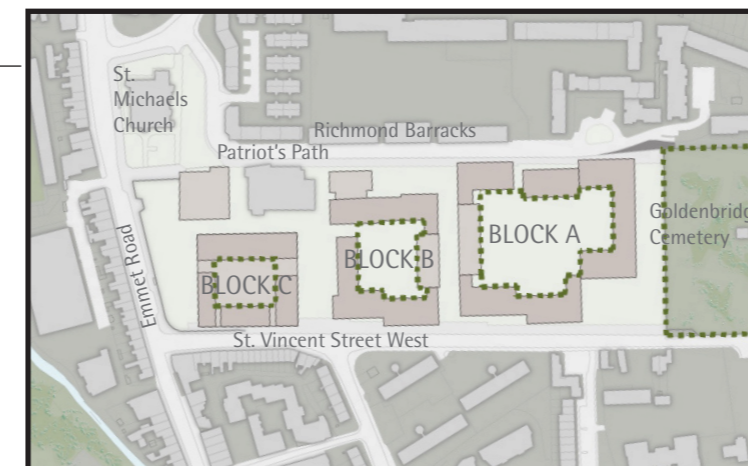


Street Edges strongly established along St. Vincent Street West and Patriot's Path



Examples of active residential street edges

- **Garden Courtyard Housing Model** : The creation of three residential courtyard blocks, (Block A, Block B, Block C) that together create and frame a dialogue with the existing historic context, establish new urban space and places for Inchicore, make new streets and remake old streets, and create three "walled garden" communal open spaces.



Courtyard Housing Model facilitates overlooking of streets and garden courtyards

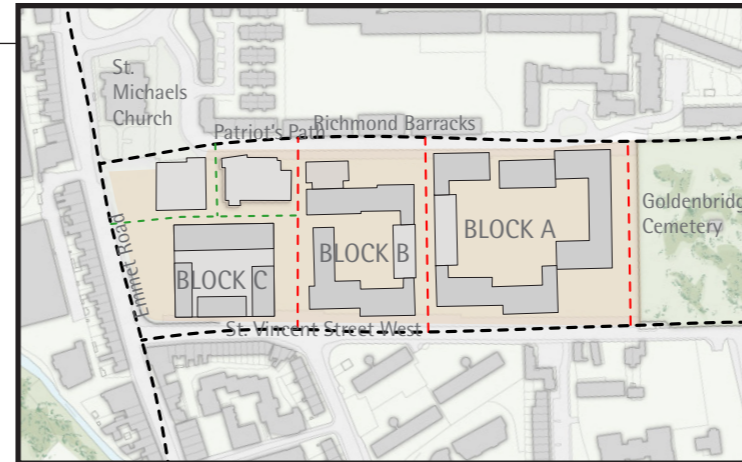


Examples of courtyard Housing with garden focus

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES

- **Permeable and Accessible Public Realm** : Creating a permeable and safe public realm through the establishment of three pedestrian dominated streets that connect East to West and strongly re-link Bulfin to the East with Inchicore to the West, and create a network of connections to the new Public Spaces – from Thomas Davis Street to Richmond Barracks, from Tyrone Place to Richmond Place, From Goldenbridge place along the Goldenbridge Cemetery Wall. Each street has a unique urban scale and character that provides human scale, visual variety, employing the principles of Universal Design and contextual sensitivity.

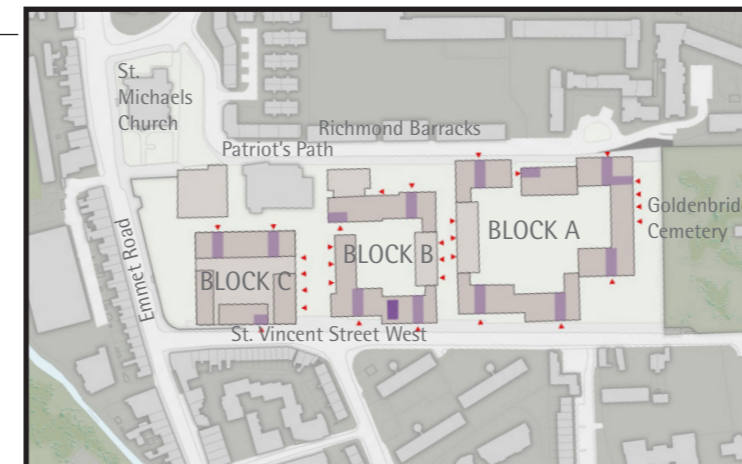


Permeable and Safe Public Realm



Examples of a safe public realm

- **Active Street Frontages** : Active street frontages with entrances to apartment buildings on north-south streets and own-door entrances along east-west streets.

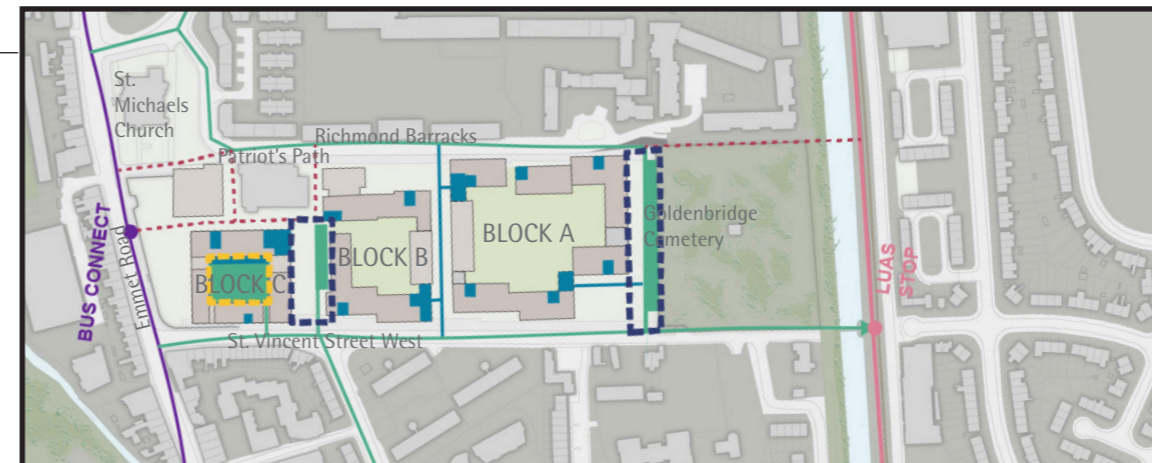


Active Street Frontages



Examples of accessible active street frontage

- **Mobility** : To support a pedestrian and cycle friendly public realm with shared streets, underpinned by a multi-modal sustainable mobility strategy enhancing and leveraging the strong connections to public transport along the Bus-Connects corridor at Emmet Road and the LUAS stop at Goldenbridge reinforcing north-south links.
- **Bicycles** : To weave bicycle parking into the scheme in a way that makes bicycle use an easy choice by providing dedicated residents bicycle parking as an integral element of the residential courtyards and entry experiences, by providing secure visitor bicycle parking within the residential courtyards and at all of the entrances to the residential buildings, by providing secure bicycle parking at the Village Carpark which is safe and accessible to the supermarket and to the Community Hub Library.
- **Optimise Carparking** : To make useful and effective, but optimised carparking for residents on the East west streets, and to create a village carpark under Block C Mixed Use Building

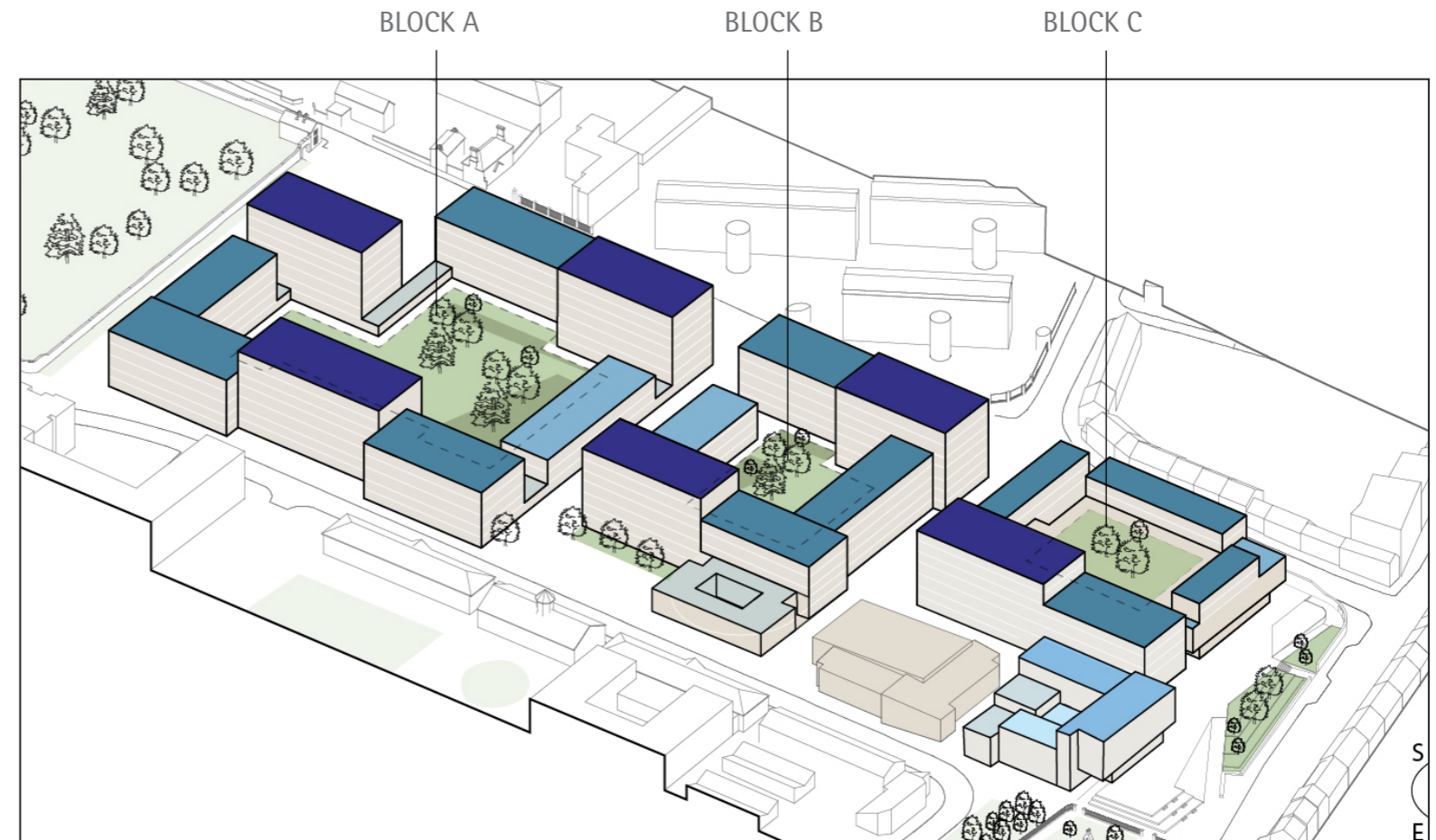


Village Carpark, residents shared street parking, and bike parking supporting sustainable mobility strategy

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES: MASSING & HEIGHT

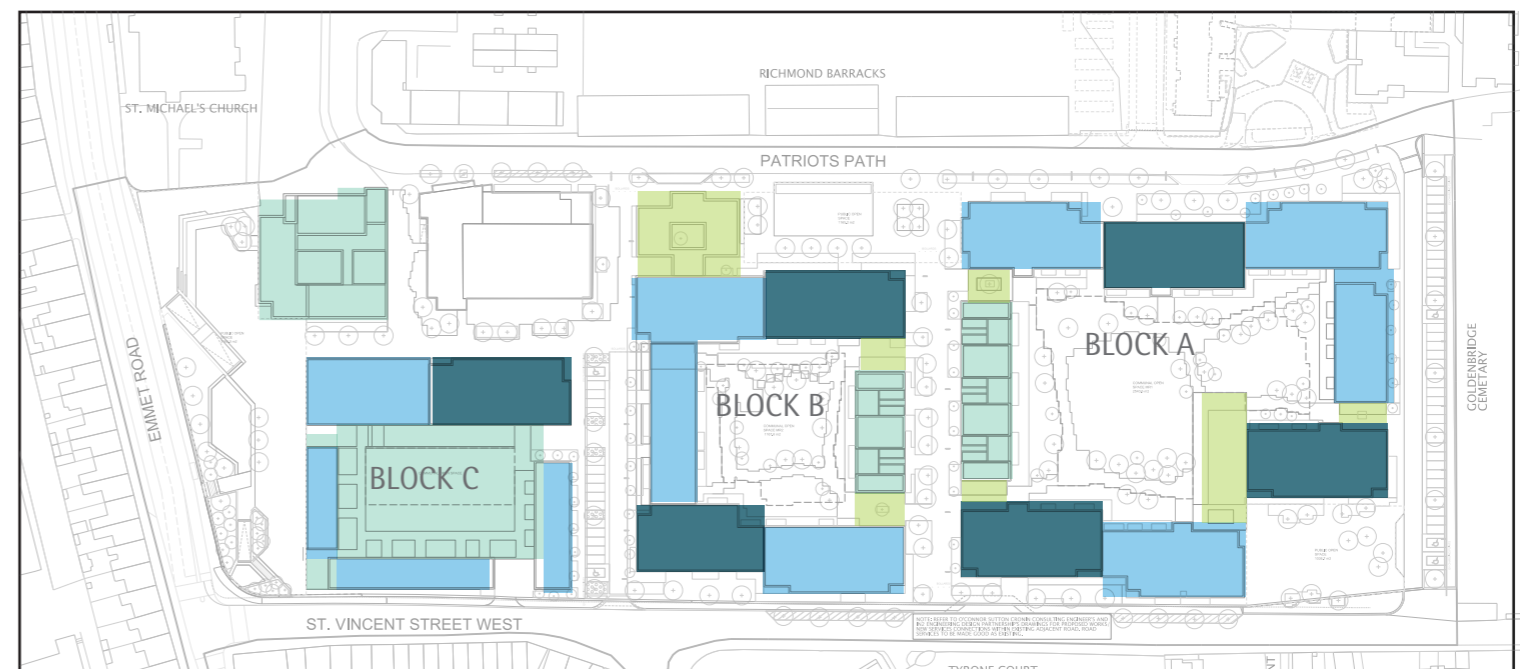
- **Varied massing and scale** that respects the urban setting with The design intent of the massing is to establishing a variety of heights – 3 storey, 5 storey, and 7 storey that together create varied street scales, conditions, and experiences, woven together with courtyards, pocket parks, sustainable urban drainage, play spaces for children and activity spaces for teens, the urban use as a landscape and urban massing work together to orchestrate a harmonious urban realm for Inchicore
- The positioning of 5 storey blocks along the street edges of St Vincent Street West and Patriots Path, and the recessing of the 7 storey blocks to establish a human-scaled, safe and inviting street-scape.
- Providing 5 storey to 3 storey steps along the east-west street connecting Tyrone place to Richmond Barracks to vary the scale and provide visual variety.
- The courtyard blocks enclose a “walled garden” serving as Communal Open Spaces for the residents.
- The creation of new East West streets that create a change in urban scale and character to the North South Streets, and connect the North South Streets and new Urban Spaces in a networked ensemble.
- The massing strategy has been developed to minimise overshadowing to neighbouring buildings / amenity spaces, with measures such as set-backs of the 7 storey blocks from the street edges, and to minimise overshadowing of communal open spaces to provide good quality sunlight for residential amenity uses. The design proposals have been assessed in order to demonstrate compliance with the relevant guidelines inclusive of site sunlight and overshadowing analysis diagrams. Please refer to the Daylight and Sunlight Report as prepared by IN2 Engineering Design Partnership.



Axonometric diagram indicating building massing and number of storeys.



Building Form, height and massing / volumetric treatment: the design is compliant with the height limit of 24m as set out in the Dublin City Development Plan 2016-2022 Section 16.7.2 Height Limits and areas for Low-Rise, Mid-Rise, and Taller Development.



Plan diagram indicating number of storeys of each block

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES : DISTRIBUTION OF USES ACROSS THE SITE

The intent of the masterplan is the creation of a mixed used urban quarter fronting onto Emmet Road, with a mix of accessible community, civic, retail and café uses, changes in scale, height and character of the new buildings to create an inviting and visually varied yet calm streetscape, integrating the historic barracks boundary wall as a useful feature of the public realm, and enhance connectivity and permeability between Inchicore Village and the new Emmet Road development.

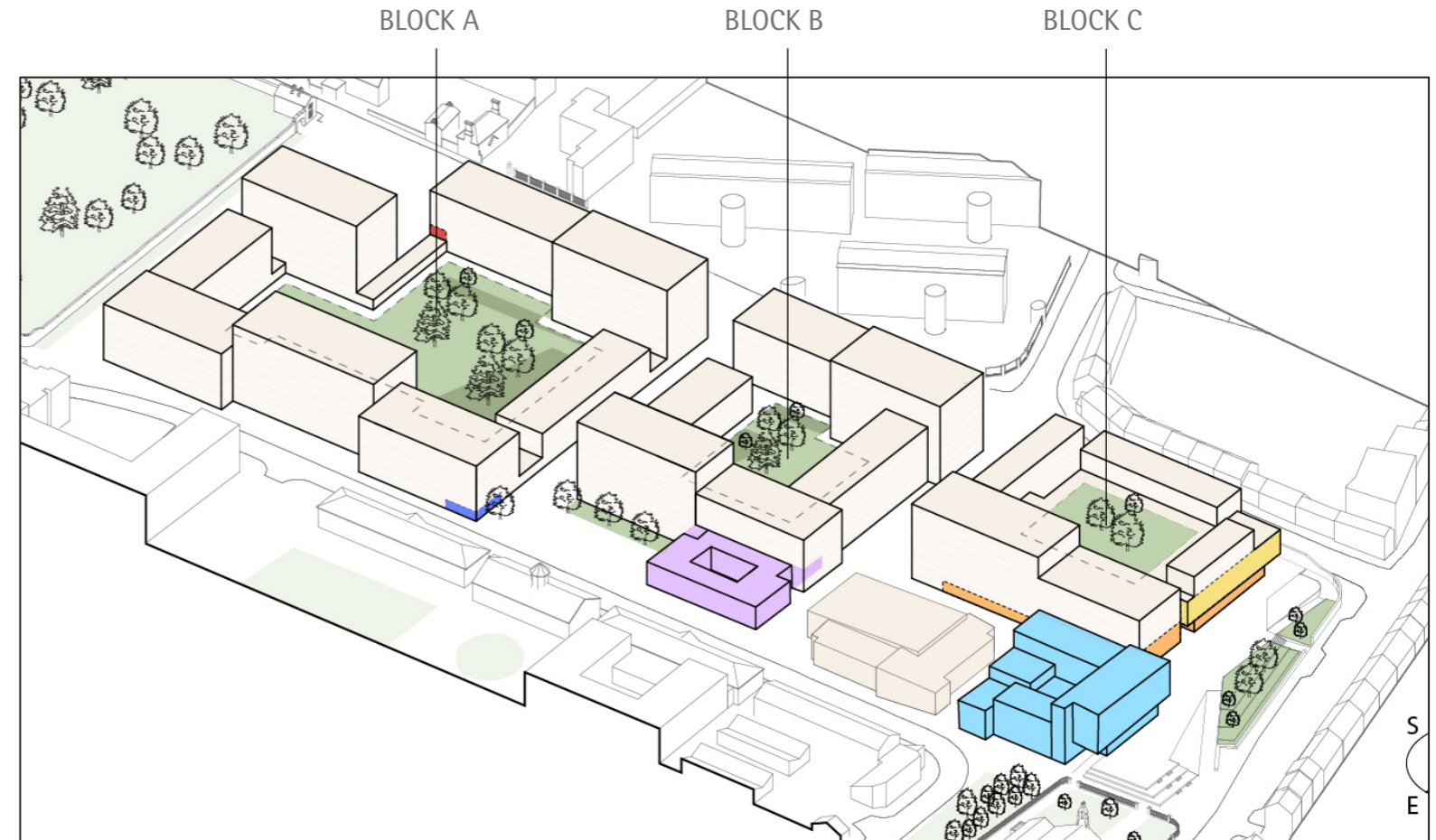
The distribution of the mix of uses across the site is designed to animate the public spaces, and reinforce the character and pattern of the urban grain. The Community Hub Library building sits prominently on the northeast site corner, set back to allow the facade of St. Michael's church to hold the eastern edge of Emmet Place. The Community Hub Library also provides a partner-building to the existing Sports Community Building immediately to the south. Block C holds the southwestern edge of Emmet Place and steps back to allow the Community Hub Library building and St. Michael's Church to address Emmet Place. Retail units along the northern and eastern facades with a cafe on the northeast corner provide active edges that will operate in conjunction with the Community Hub Library. The entrance to the supermarket is located on the northwest corner of Block C and smaller retail units can address Emmet Place. The creche holds the northern edge of Richmond Place, and a Cafe / Corner Shop is located along the southern edge of Goldenbridge Place. The management centre is located on the southeast corner of Richmond Place.

Masterplan Affordability

The impact of design as one criteria of affordability has been a key consideration - the project has incorporated design efficiencies at a number of different scales:

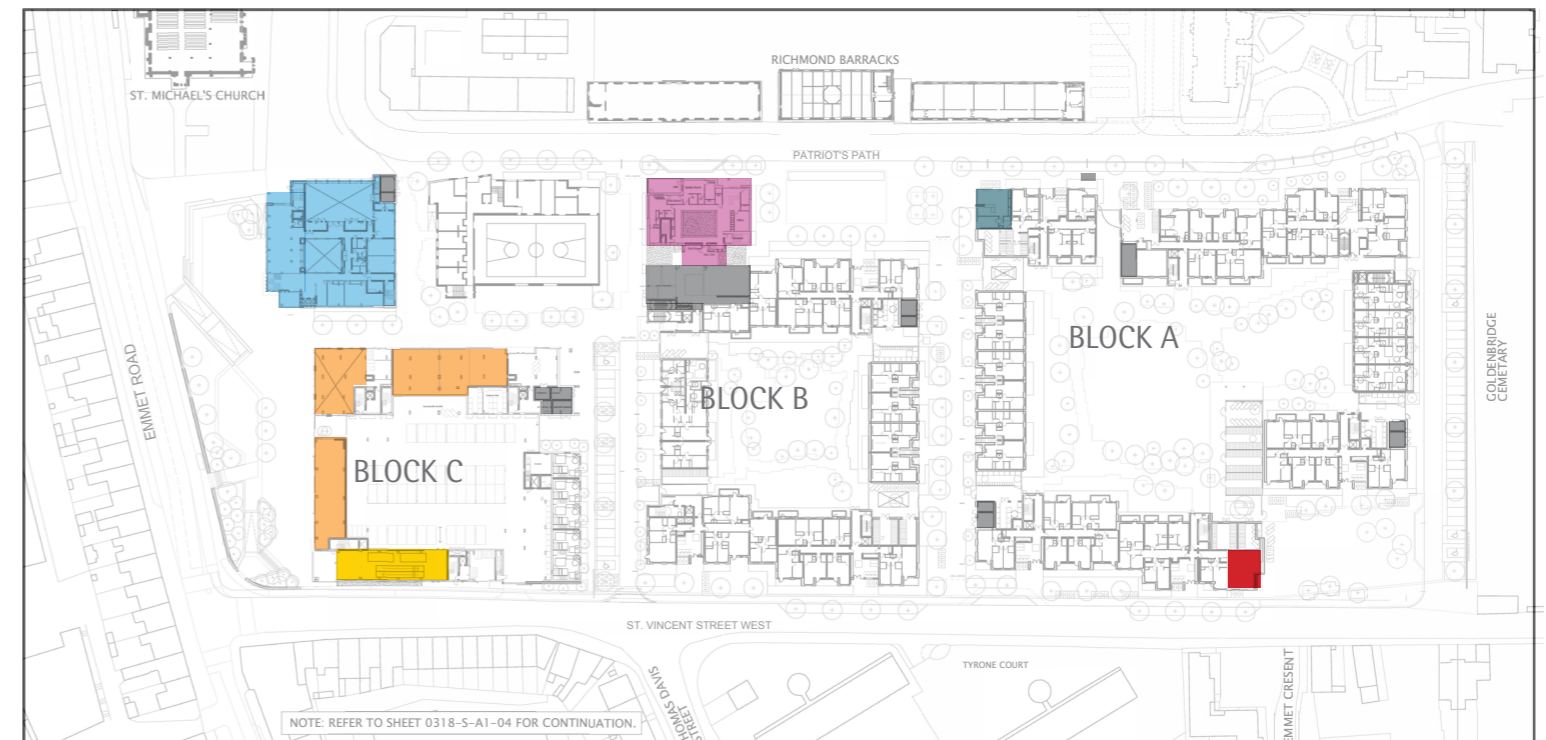
Masterplanning

- optimising urban massing for an efficient wall to floor ratio whilst meeting constraints of height, dual aspect etc
- arranging and orienting buildings and residential units as far as possible in configurations relative to the sun and wind path (east-west aspect optimal) that facilitate the harnessing of natural energies, reducing longterm operating costs
- eliminating underground parking, with increased parking for bikes, encouraging other modes of transport
- provision of a centralised shared energy centre (with no fossil fuel), with efficient distribution
- minimising residential storey heights whilst maintaining floor to ceiling height to meet daylight requirements



Non-residential Uses
Ground Floor

- MANAGEMENT OFFICE
- CRÈCHE
- CAFÉ / CORNER SHOP
- SUPERMARKET
- RETAIL/CAFE
- LIBRARY / COMMUNITY HUB
- ENERGY CENTRE



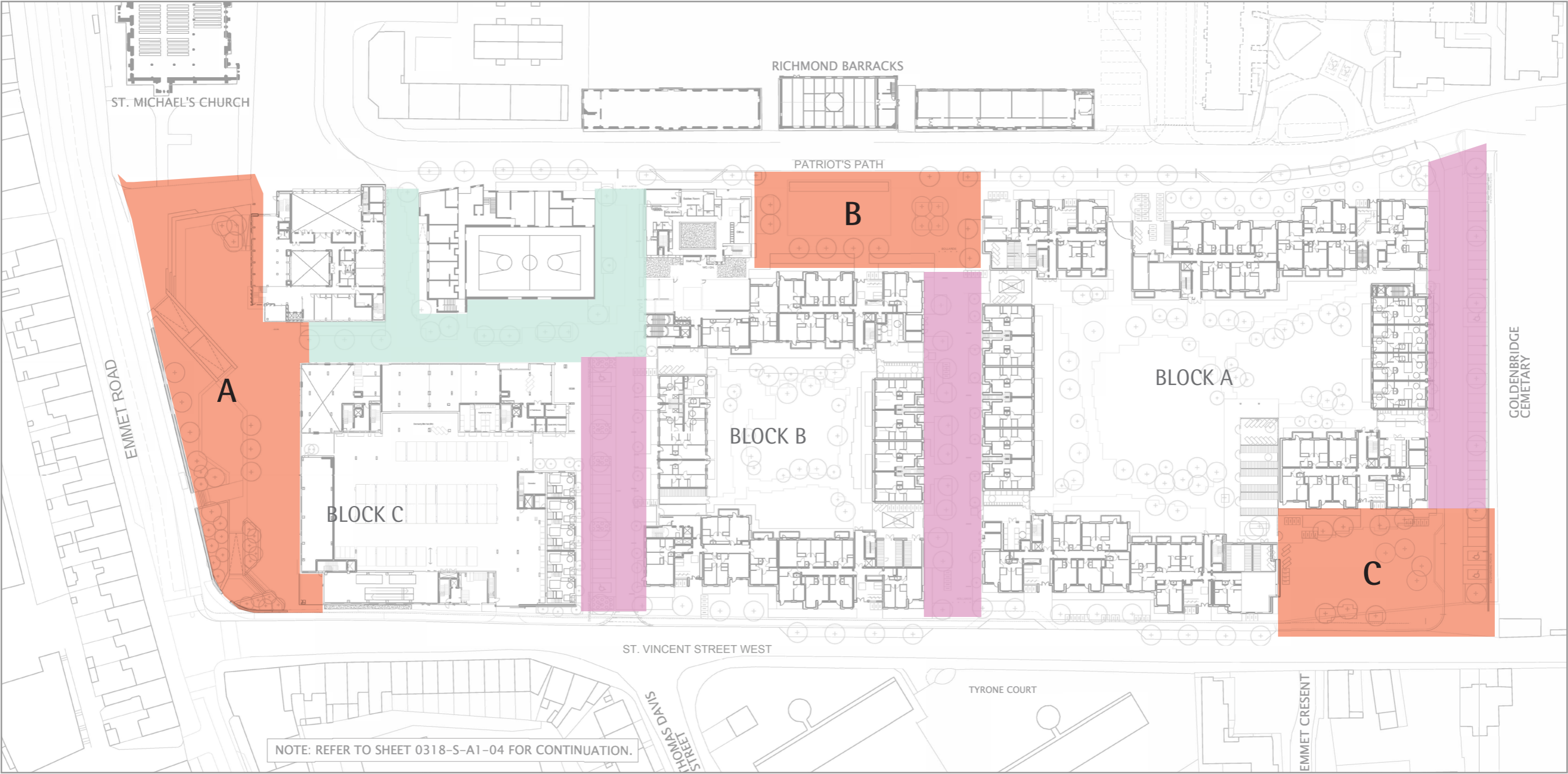
3. MASTERPLAN & URBAN DESIGN APPROACH
3B NEW PUBLIC SPACES AND NEW PUBLIC STREETS

A significant objective of the urban design is to repair lost links, stitch the project into Inchicore, and into Dublin City, create strong connections East West from St. Michael's to Belfin, and reinforce the existing strong connections north – south from Goldenbridge to Emmet Road

To achieve this the design creates three new public spaces, A. Emmet Place*, B. Richmond Place*, and C. Goldenbridge Place*, and activates the north-south connection between Emmet Place and Richmond Place*.

(*Note: Placeholder* space names used for the purpose of drawing reference only. Formal naming process to follow post planning)

- 3 NEW PUBLIC PLACES
- ACTIVE ZONE
- 3 NEW SHARED STREETS

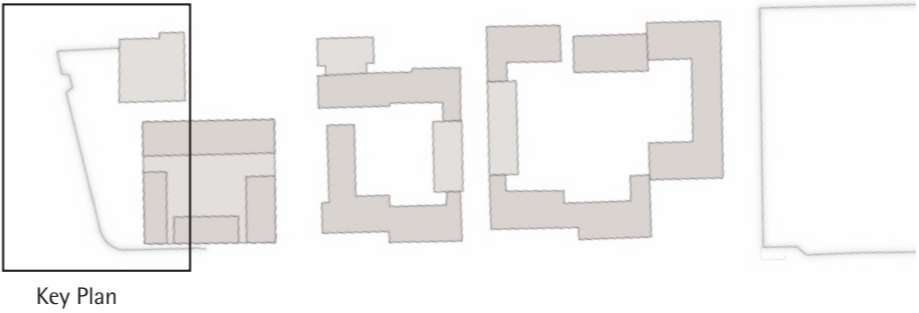


3. MASTERPLAN & URBAN DESIGN APPROACH

3B URBAN SPACES + PUBLIC REALM DESIGN - EMMET PLACE*

Emmet Place*

Emmet Place* (placeholder name) is a new Civic Space for Inchicore. Designed to work flexibly with the rhythm of Inchicore's urban flow, it uses the natural level change that occurs within the site generally and creates places for people to sit, to gather, to rest and relax; it is a platform just above the level of the city and the street. Incorporating the existing historic wall into a new garden space along Emmet Road for people to use as a sheltering wall, as an entrance and gateway, a place to relax; Emmet Plaza is a new public space and landscape at Emmet Road and an integral part of the sustainable urban drainage strategy. Weaving new urban uses such as a stepped garden, a seating area with sustainable urban drainage the green edge creates a buffer along Emmet Road to the public space and allows the levels to step gently up to the south. The steps facing St. Michael's church are gently angled away from the church to create a flat accessible zone in front of the church yard wall that can be used in conjunction with the church. The steps rise to create a small platform in front of the Library building façade to announce the Civic quality of the Library Community Hub and to create a new platform above street level.



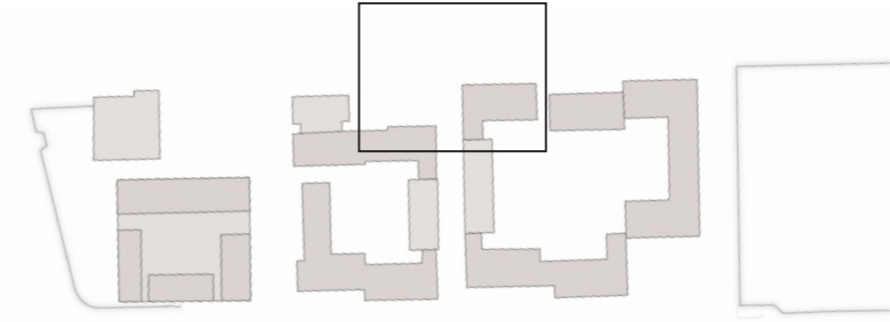
Emmet Plaza looking West along Emmet Road

3. MASTERPLAN & URBAN DESIGN APPROACH

3B URBAN SPACES + PUBLIC REALM DESIGN - RICHMOND PLACE*

Richmond Place* (placeholder name) is created by existing Richmond Barracks to the East, one 7 storey residential block to along the western edge, one 5 story residential block along the southern edge, and the 2 storey creche building on the northern edge. Richmond Barracks is not a symmetrical building: The slightly off-center cupola and the irregularity of the position of the windows is carefully responded to by the geometry of the space which is designed to maintain the overall impression of symmetry, but to create a nuanced structure where the symmetry is deftly undermined. The significant urban move is to place the entrance of the East-West pedestrian street along the southern edge of the plaza and to place the 2 storey creche building along the northern edge; this is further reinforced by the location of step between the 7 and 5 story building which aligns with the red-brick portion of the Barracks Hall. The creche creates a gentle presence within the Plaza and with the incorporation of seating and of outdoor bicycle parking into its façade it serves as a useful piece of urban furniture for the square setting.

The management office is located along the south east corner of Richmond Place* and passively overlooks Richmond Place*, as do the residential units which have their private amenity spaces overlooking Richmond Place*.



Key Plan



View of Richmond Place* (Placeholder Name) from Patriot's Path looking North

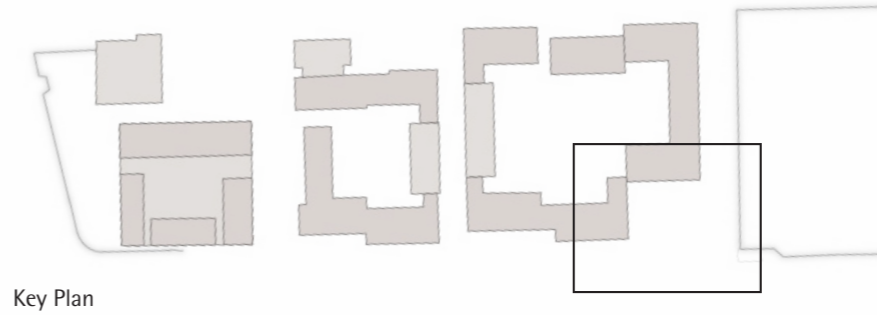
3. MASTERPLAN & URBAN DESIGN APPROACH

3B URBAN SPACES + PUBLIC REALM DESIGN - GOLDENBRIDGE PLACE*

Goldenbridge Place* (placeholder name)

Goldenbridge Place* is carefully set out geometrically to align with Emmet Crescent and the northern gatepost, provide a framing space to the entrance gate and gatehouse to Goldenbridge Cemetery, provide a gentle off-street vehicular access to the gate of Goldenbridge Cemetery to allow for processions into and out of the cemetery, to provide a play space for children who might be exiting or entering the National School opposite, or for the young adults and teens visiting the Core Youth building. Goldenbridge Plaza is also the greeting point to the Residential Development when approaching from the south as a pedestrian or cyclist. A café has been located at that corner facing south and taking advantage of the aspect and the plaza. A residential hub has been placed at the north east corner of the Plaza providing a view into the courtyard between the 5 and 7 storey blocks that frame Goldenbridge Plaza.

Careful integration of the landscaping and sustainable urban drainage design has been applied to ensure that these elements are working together with the urban design to create a memorable, sustainable, flexible, and functional new public space.

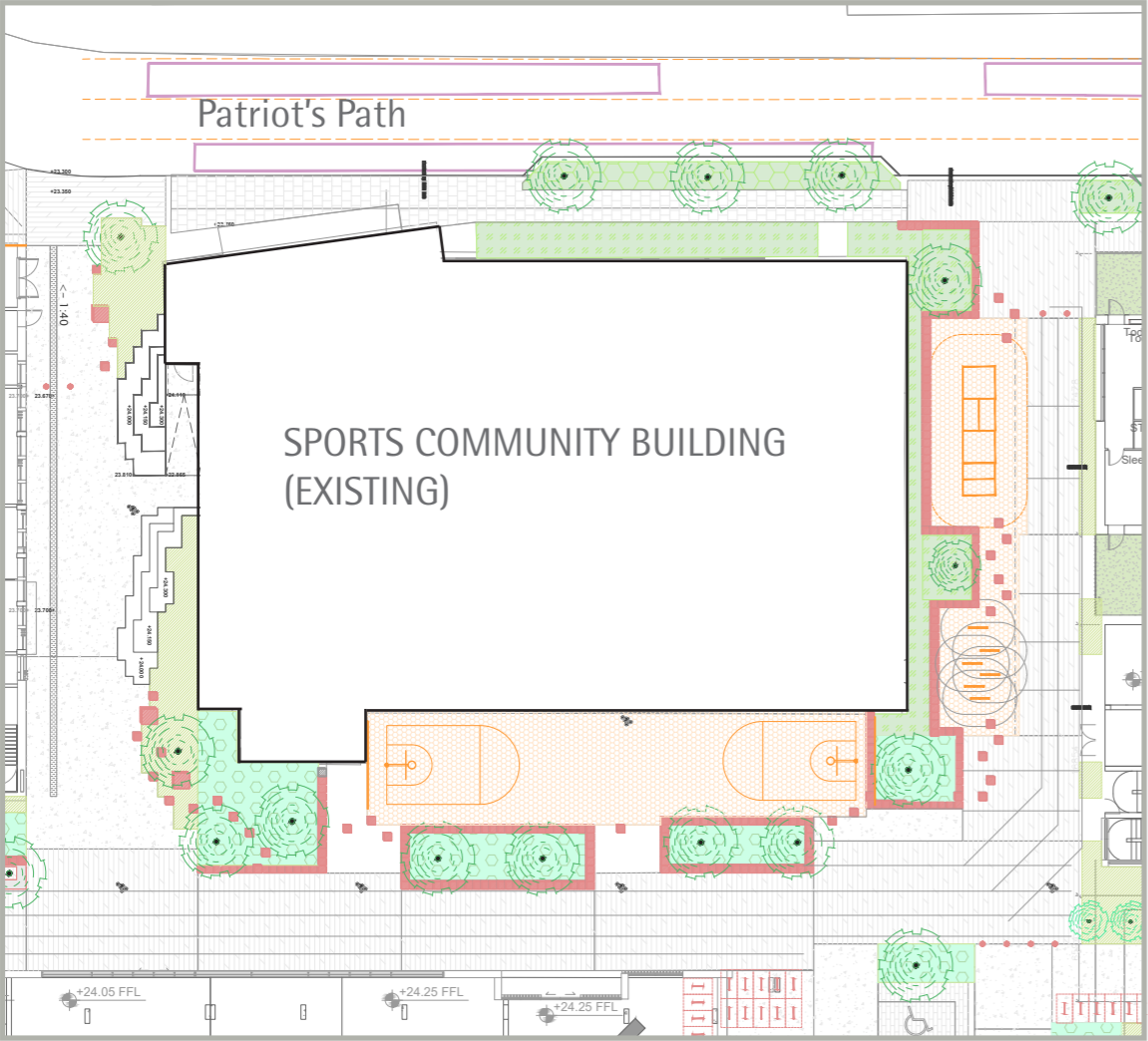
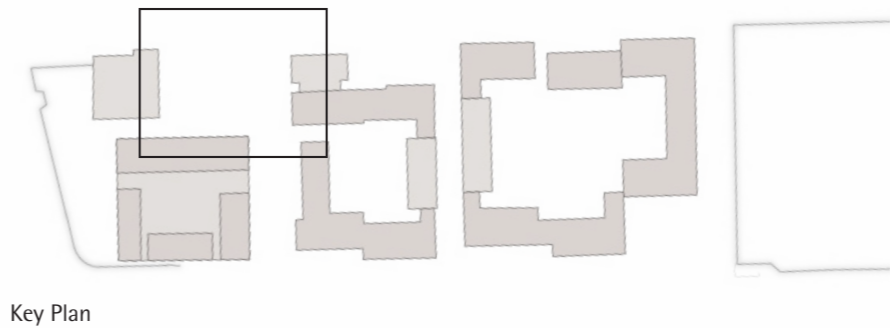


View of Goldenbridge Place* (Placeholder Name) from southwest corner looking northeast

3. MASTERPLAN & URBAN DESIGN APPROACH

3B URBAN SPACES + PUBLIC REALM DESIGN - AROUND THE EXISTING SPORTS COMMUNITY BUILDING

Activating public spaces around the existing Sports Community Building: To provide active uses for teens and young adults "parklets" are offered to enhance the level of flexible urban use focused on the young adult and teen. Elements of 'parcours' are located in the parklets with landscaped threshold between active areas and the pedestrian street (see Landscape report for details), which are carefully separated from pedestrian access to the retail units at ground floor of Block C. Between the Community Hub Library and the existing Sports Community Building is a landscaped space with seating that can work in conjunction with the Community Hub spaces.



View looking east of public realm between existing Sports Community Building and proposed Community Centre Library

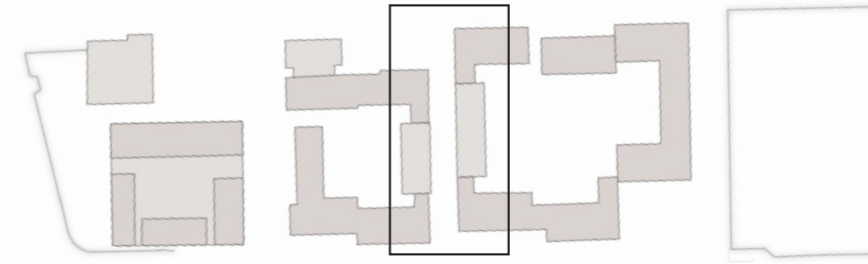
3. MASTERPLAN & URBAN DESIGN APPROACH

3B URBAN SPACES + PUBLIC REALM DESIGN - EAST WEST PEDESTRIAN STREET

Three East-West Pedestrian Cycle Shared Streets connecting St. Vincent Street West to Richmond Barracks Thomas Davis Street to Richmond Barracks : a shared street, incorporating resident's only parking, with managed access for waste-management vehicles and fire tender vehicles, incorporating sustainable urban drainage, visitor bicycle parking, own-door access units on both sides of the street.

Tyrone Place to Richmond Place* (image below) : a pedestrian street, with access for fire tender vehicles only, incorporating sustainable urban drainage, visitor bicycle parking, own-door access units on both sides of the street.

Goldenbridge Place along Goldenbridge Cemetery a shared street, incorporating resident's only parking on the southern side of the street, access for waste-management vehicles and fire tender vehicles, incorporating sustainable urban drainage, visitor bicycle parking, own-door access units on the north side of the street.



Key Plan



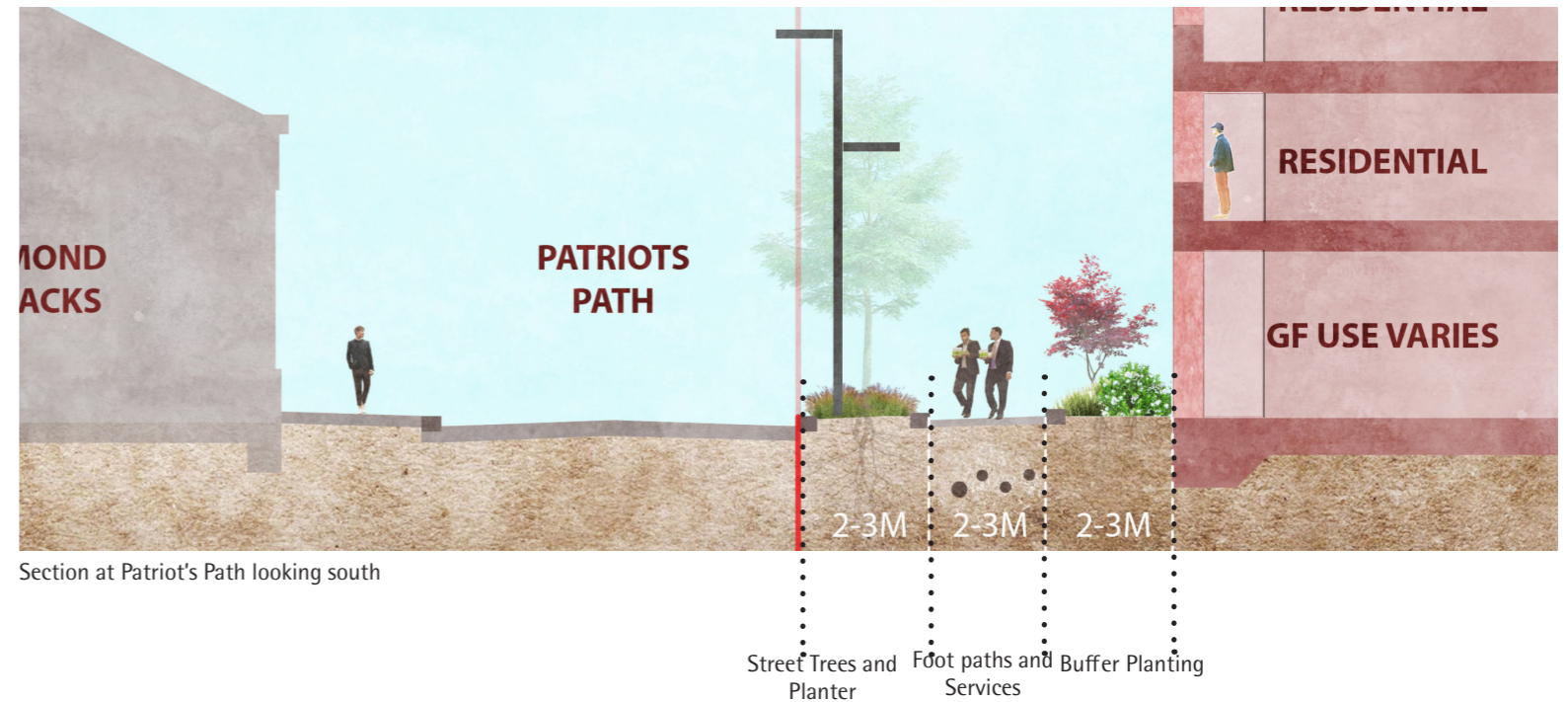
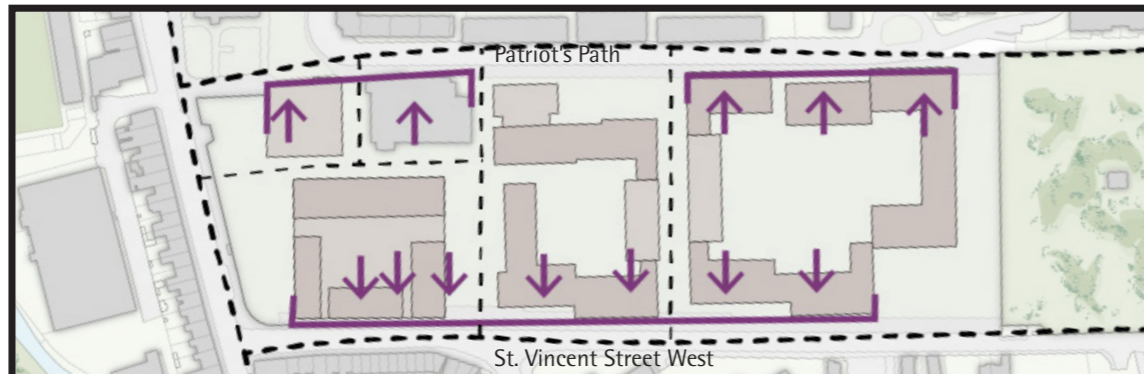
View from St. Vincent Street West along pedestrian East - West connecting street with 3 storey 'Mews' dwellings.

3. MASTERPLAN & URBAN DESIGN APPROACH

3A URBAN DESIGN PRINCIPLES : ACTIVE STREET FRONTS ALONG PATRIOT'S PATH AND ST. VINCENT STREET WEST.

A key driver of design intent is creating strong, inviting, active, green, and safe streets. Patriots Path and St. Vincent Street West the streets are designed with a 2m zone along the roadway incorporating trees, sustainable urban drainage and public lighting, a 2-3 m footpath, and a 2m planted buffer zone in front of the apartments private amenity spaces. Along St. Vincent Street West the stepping of the blocks along and back from the street edge creates a human scale along the street, and provides two pocket parks where the sustainable urban drainage is integrated with seating, and entrances to the residential blocks. Each block is accessed from the street, into a lobby through which the courtyard is also visible.

The balconies along Patriot's Path and St. Vincent Street West are recessed within the facade. The colour of the bricks is light in order that daylight is reflected and amplified by the urban wall. At the ground and first floor the façade treatment varies with pre-cast concrete units framing and announcing entrances with visitor cycle parking conveniently located at each entrance.



Section at Patriot's Path looking south



View 'along St Vincent Street West looking north

3. MASTERPLAN DESIGN APPROACH

3C SUSTAINABILITY + CLIMATE RESILIENCE

Sustainability Climate Resilience

(to be read in conjunction with IN2 Engineering Climate Action Energy Statement, BSLA Landscape Architecture Design Statement, and OCSC Sustainable Urban Drainage Report)

The design of the master-plan and buildings has prioritized sustainability in several ways:

Passive Design Strategy for Buildings

- Optimising daylight in spaces by careful consideration of depths of spaces, reflectance values of building fabric.
- Maximizing the floor to ceiling dimensions with the 24m constraint and minimize the depth of the units to increase the quality of daylight and related energy efficiency benefits
- Optimise the use of low embodied carbon materials in building fabric.
- The urban design approach optimises the balance between landscape and building footprints.
- Optimise orientation of buildings to ensure adequate daylight
- Durable and generous approach to proportions of rooms, corridors and public spaces.
- Optimising orientation of spaces to benefit from paths of sun and wind

Urban Mobility

- Masterplan that promotes pedestrian, cycling, and hybrid modes of mobility, along with close proximity and integration to public transport, and a range of community infrastructure, in line with the Dublin City Council policy for sustainable neighbourhoods and the 15 minute city principle
- Masterplan supports sustainable transport through provision of car sharing and EV charging infrastructure

Sustainable Urban Drainage (SUDS) and Landscape integration

- Optimise the use of landscape incorporating sustainable urban drainage strategy and amenity spaces
- Provision of green roofs part of the SUDS flood risk mitigation and attenuation strategy

Biodiversity and Ecology

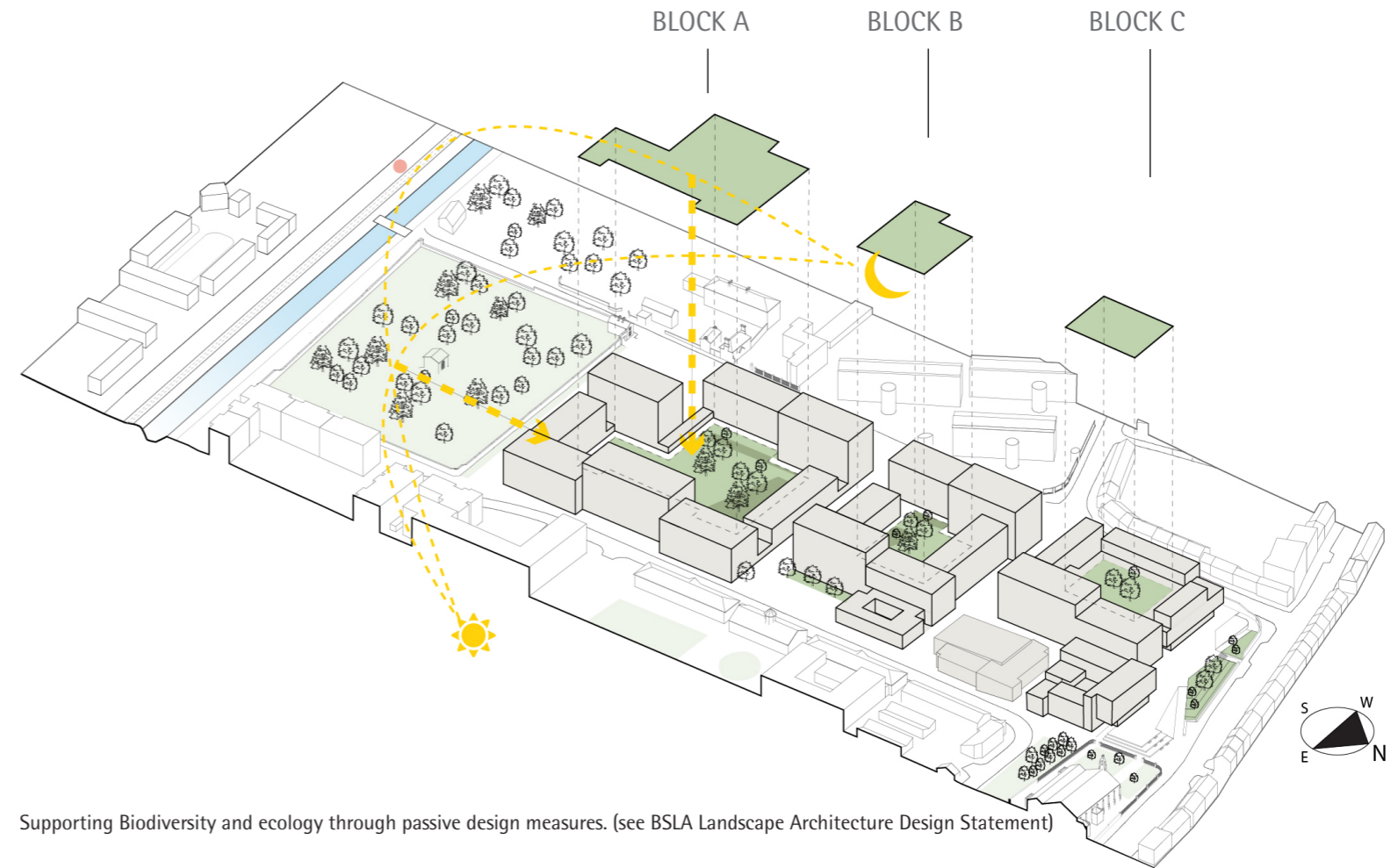
- Organisation of residential accommodation into courtyards with protected garden spaces to support, grow, and develop ecosystems
- Supporting bio-diversity by maximising the opportunities for locating appropriately landscaped elements
- Provision of both extensive and intensive green roofs to attenuate rainwater, offer biodiversity across the site, and contribute to the green infrastructure policy objectives within the city

Site Energy and Infrastructure

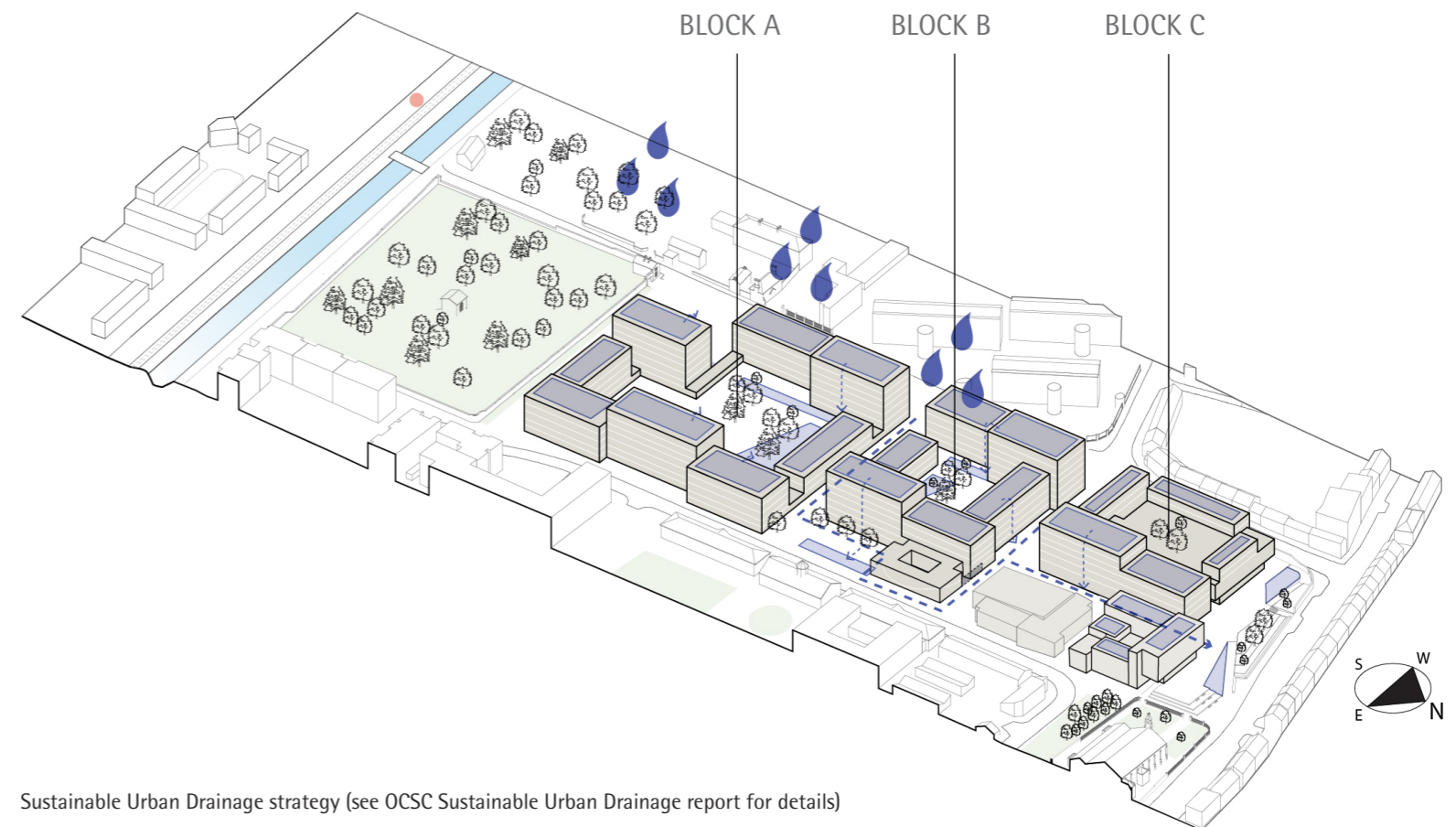
- Use of centralised energy centre with no fossil fuels (Air Source Heat Pump)

Low Carbon Materials

- Use of materials that are low in embodied Carbon, with consideration of Global Warming Potential associated with all construction materials and products over a building's whole life cycle.



Supporting Biodiversity and ecology through passive design measures. (see BSLA Landscape Architecture Design Statement)



Sustainable Urban Drainage strategy (see OCSC Sustainable Urban Drainage report for details)

3. MASTERPLANNING PRINCIPLES

3D ARCHITECTURAL HERITAGE STRATEGY

Boundary Wall (Please refer to Arch. Dwgs. 0318-C-A6-00 and 0318-C-A6-01 for more details)

The remnants of the original Richmond Barracks boundary wall enclose the North West corner of the site and will bring character and a sense of place to the new civic place. However the boundary wall currently presents a closed defensive face to the site approach from Emmet Road and Inchicore village. In order to offer permeability and an inviting approach to the new civic plaza, alterations are proposed to the boundary wall, balancing the retention of as much of the original fabric as possible, with endeavoring to create an open contemporary safe and attractive public realm. By bringing new purpose to the wall as it defines the edges of, and offers gateways and shelter to, the new civic place, it becomes stitched into a new chapter of life in Inchicore.

Two framed openings are proposed in the wall (one at the junction of St. Vincents St West/ Emmet Road, and one at the existing step in the wall along Emmet Road. These would be defined by weather resistant steel framing, with a limestone paved threshold, and integrated lighting to highlight the fabric of the wall.

Along Emmet Road the lower section of wall previously reduced in height is proposed to be reduced further and finished with a new limestone capping. The higher section of wall here is retained at its existing height (coping detail as per Conservation Architects detail). Above the wall signage is suspended from a frame, referring to the chosen name of the new civic plaza. In all cases the existing wall fabric is foregrounded, with new framing visually set back (& reinforcing the wall where necessary to Eng's. Details) - to be developed at detailed design stage (detailing and specification of any treatments to direct rainfall runoff away from the stone of the boundary wall).

The length of wall along St. Vincents St West is reduced in length in order to open the site up to the west – the removed stones to be used to rebuild a portion of the wall that has been previously reduced in height according to the Conservation Architects methodology (See Architectural Heritage Impact Assessment AHIA report for further detail).

In order to reflect the history of the site in particular during its era as Richmond Barracks, it is proposed to weave an informative 'ribbon' of limestone and weather resistant steel around the site, incorporating reminders of the unique history of this place into the contemporary landscape and daily life of the community. Limestone is the stone that was used to build most of the Barracks buildings and wall, probably quarried from the adjacent quarry, while weather resistant steel is a robust, industrial material that echoes the local use of weather resistant steel during the era of Great Southern and Western Railworks and during the military era of the Barracks. It is proposed to use this palette to mark the line of the original Barracks wall, and other historic elements around the site (and could also be used as a palette for further future additions to this theme perhaps as part of a % for Arts scheme etc). The line of the wall would also be expressed and integrated into landscape features (benches, edges of SUDs etc) around the site (Please refer to Landscape Arch. Dwg5)

Boundary Wall Markers

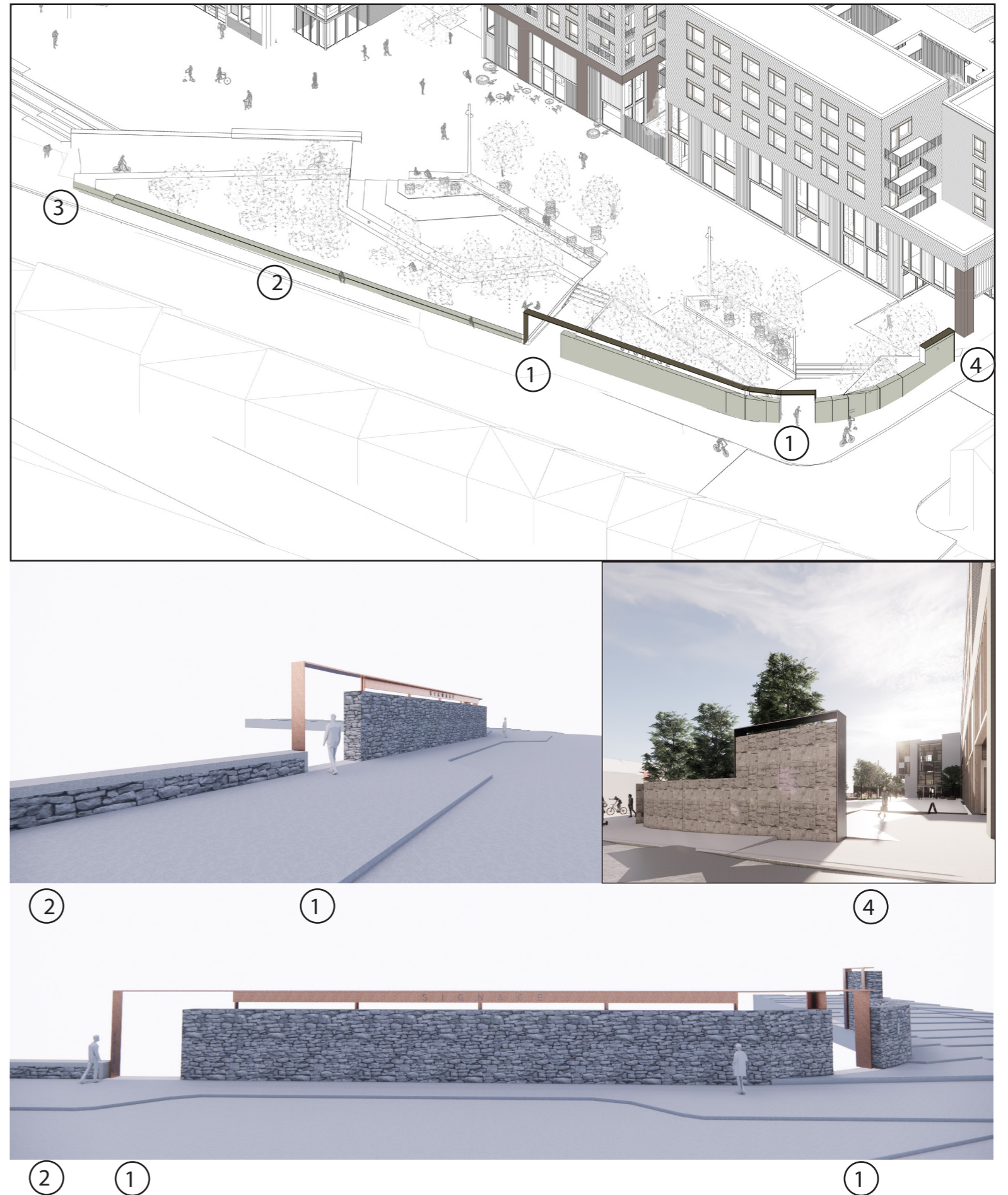
Where the fabric of the original Richmond Barracks boundary wall no longer remains, it is proposed to indicate its location, as it makes its journey around the site, by a surface band of limestone paving, which will form a threshold zone at gateways. Vertical markers (weather resistant steel) emerge from this band with text indicating the meaning of the band, pointing to the line of the wall, incorporated into framing elements at the ends of the remaining boundary wall and at gateways.

Boundary Stones

New openings in the wall are placed in order to preserve the existing granite boundary stones along St. Vincent St West which are retained as they are, integrated into the stone wall (see Architectural Heritage Impact Assessment AHIA report for further detail). At the north east of the site along Emmet Road an existing boundary stone (W'D no. 26), already relocated in a contemporary portion of wall, will be integrated into the low wall along Emmet Road at a location where contemporary infill has already occurred.

This theme and material palette could offer a framework for future additions at the site (eg as part of per cent for Arts scheme), to highlight particular historical aspects eg elevating/framing the latter boundary stone (as at 6) or framing an information panel opposite the Richmond Barracks Visitor Centre (suggested location at 5) highlighting the position of the now demolished central archway to the Barracks Soldiers Parade Grounds.

(* placeholder name subject to future naming process)



3. MASTERPLANNING PRINCIPLES

3D ARCHITECTURAL HERITAGE STRATEGY

The proposal responds to the rich architectural heritage of the site and surrounding context by integrating the existing heritage fabric and /or views of same into the public realm, to which they bring the specific character of this place.

3 new public spaces are positioned to address the heritage fabric:

- (1) Emmet Road Place * - addresses the Richmond Barracks boundary wall at the west and St. Michaels church at the east end
- (2) Richmond Barracks Place * - addresses the façade of the Richmond Barracks Soldiers Quarters buildings and the Gymnasium building
- (3) Goldenbridge Place* - addresses the cemetery Sextons / gatekeepers house and is configured to address the view of St. Vincents chapel down Emmet Crescent and to follow the footprint of the old Barracks Married Quarters.

- ① NEW FRAMED OPES IN BOUNDARY WALL WITH LIMESTONE THRESHOLD AND LINE OF WALL MARKER
- ② WALL REDUCED IN HEIGHT AND CAPPED WITH LIMESTONE
- ③ LIMESTONE PAVING BAND INDICATING LINE OF WALL
- ④ LINE OF WALL MARKER
- ⑤ FUTURE INFORMATION PANEL
- ⑥ RELOCATED BOUNDARY STONE

- BUILDING OF HISTORICAL SIGNIFICANCE
- BOUNDARY WALL RETAINED
- CAPPED WALL
- FRAMED OPENING
- PAVING DETAIL
- BENCH



4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY

The residential aspect of the project follows a very old architectural concept in residential development : creating courtyards around which people live, sharing the space enclosed by the residences. The residential typologies are organized into blocks which create courtyards that enclose the Communal Open space. The two courtyards of Blocks A&B are visually a single courtyard framed by 5 and 7 story buildings, with 2 and 3 story buildings articulating the East-West street that divides them. The residential courtyard of Block C is on the roof (of the supermarket) and is framed by the gallery access on three sides and the core accessed block on one site. All three courtyard blocks maximize the dimension between opposite facing apartments and provide excellent visual privacy, while creating a sense of shared space and community.

Within each of these courtyards is variety; three organizations of residential typologies is employed – core access apartment buildings, deck accessed apartment buildings, and own door accessed apartment buildings. Along the East / West streets are own door accessed apartments. Along the North South streets are core accessed apartment buildings. The number of apartments per floor accessed at each core is limited to 8 apartments. Each block on the ground floor includes resident's enclosed bicycle parking, with dedicated waste management area, within the building footprint. There is a clear separation between communal open space and public space which is articulated by the building edges, bike parking and waste management areas are used to close the courtyard while also providing lower height buildings.

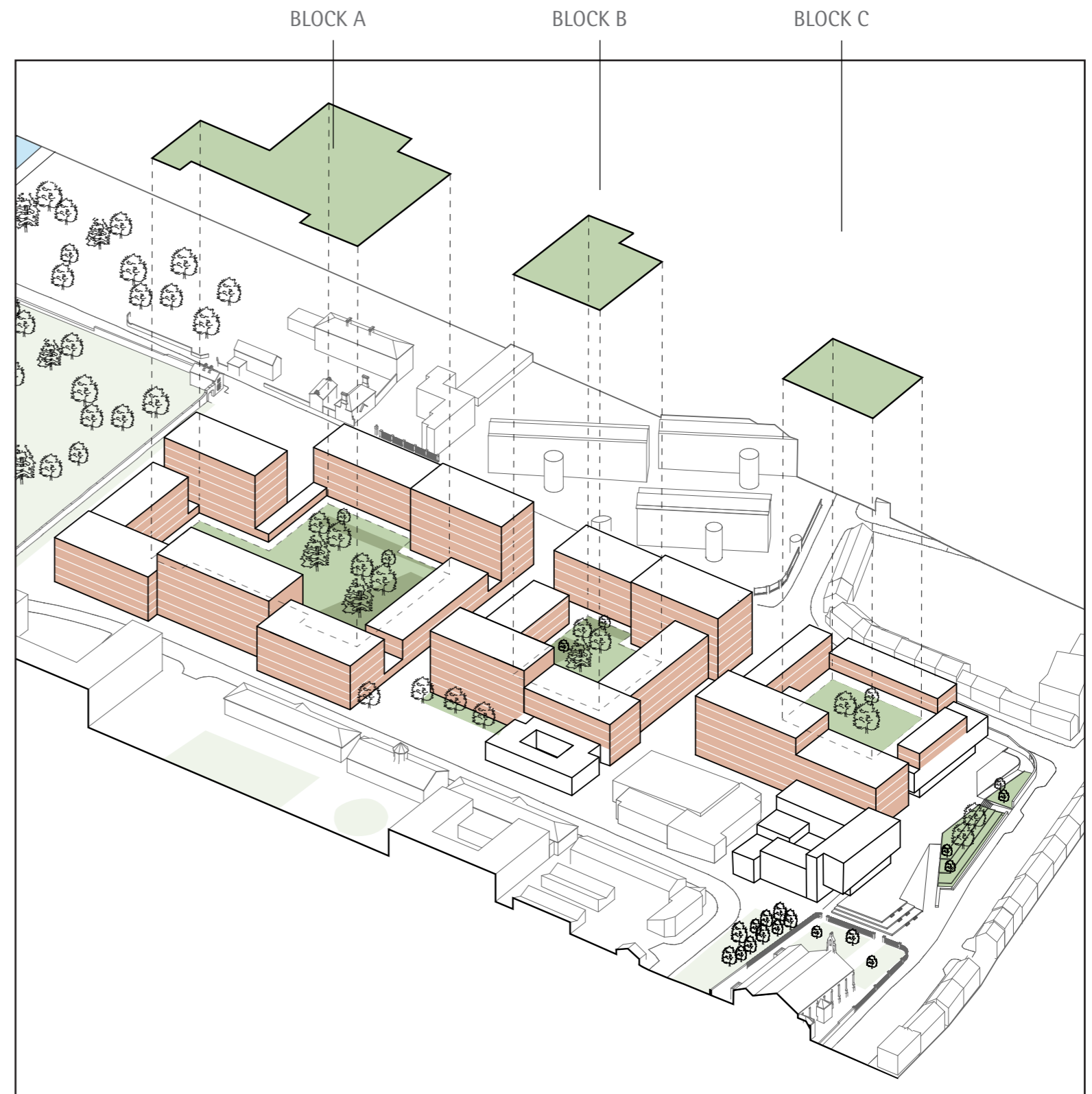
Affordability : Block / unit planning

Residential block and unit design efficiency is optimised within the constraints of the requirements of Dublin City Development Plan 2016-2022 and guidelines referred therein (with regard to minimum areas, dual aspect provision. Number of units per core etc) Strategies include

- optimising use of efficient block typologies (e.g. double loaded corridors) within constraints of creating perimeter blocks whilst avoiding north facing units
- maximising number of units per stair / lift core within given constraints (max. 8 units per core)
- optimising net to gross ratios with efficient core planning
- repetition of layouts as much as possible whilst providing diversity (mirroring, rotating etc)
- standardisation of unit layouts, kitchen and bathrooms as much as possible within the constraints
- Stacking of units with resultant structural efficiencies
- Stacking bathroom and kitchen 'wet walls' with back to back arrangements where possible

DCC 2016-2022 DEVELOPMENT PLAN STANDARDS MET BY THE DESIGN: (non-exhaustive)

- maximum 8-units per floorplate per core,
- minimum 50% of the units with dual-aspect
- minimum 50% of the units are +10% minimum areas
- studio apartments minimum area 40m²
- maximum height of building 24m
- ground floor units minimum floor to ceiling 2700mm

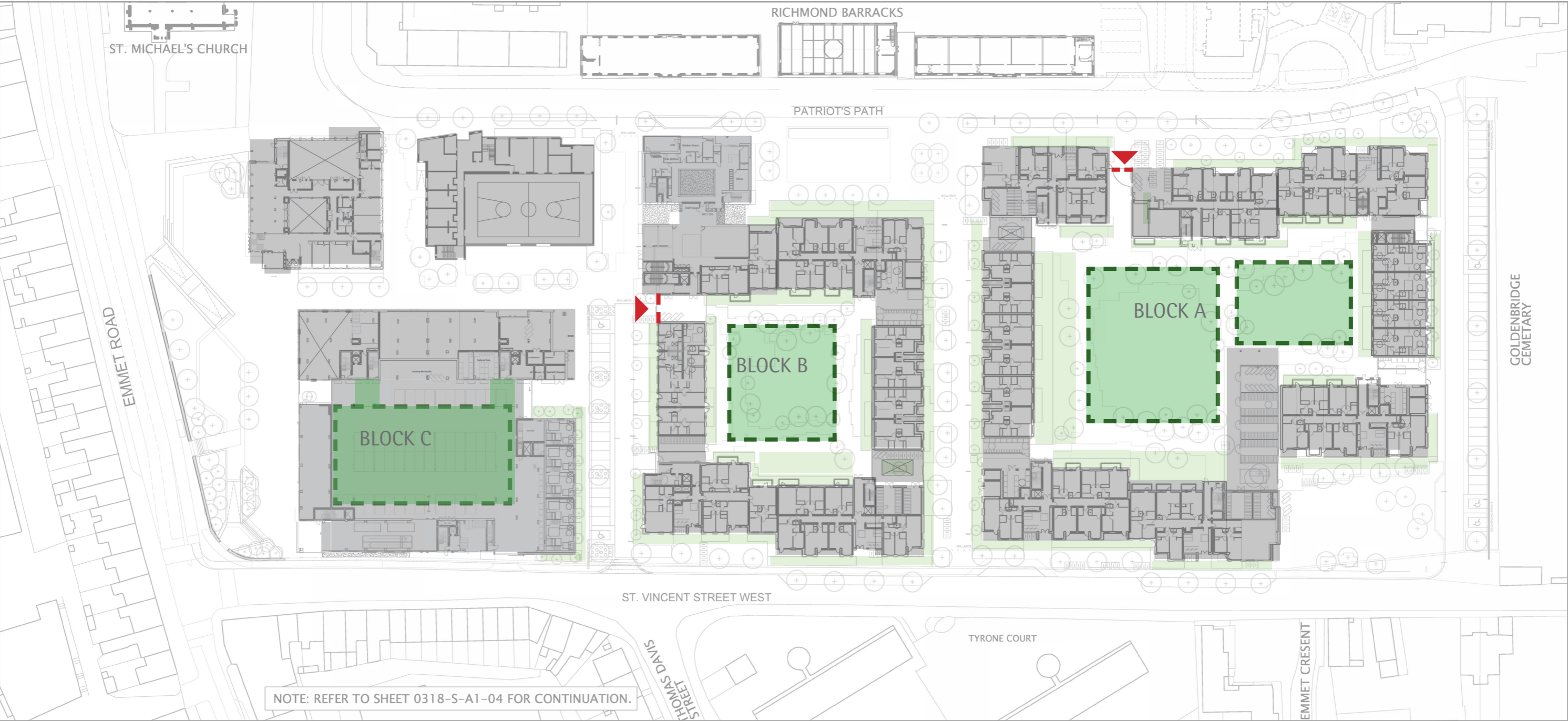


Courtyard Housing Axonometric

4. BUILDING DESIGN APPROACH
4A RESIDENTIAL BLOCK DESIGN STRATEGY

The courtyards enclose the Communal Open Space for the main residential blocks (Blocks A & B) and on the roof of the Mixed Use Building (Block C). The Communal Open space is accessible only to residents. Privacy buffer gardens protect the private amenity space of the ground floor units from the communal open space and public space in the case of units that face the street. There are two double-height residents only entrances provided, one along the northeast edge of the middle courtyard building (Block B) and one along the eastern edge of the southern courtyard building (Block A). These openings provide important visual connections between the public open space and the communal open space.

- COMMUNAL OPEN SPACE
- PRIVACY BUFFER
- RESIDENTS ONLY ACCESS
- DOUBLE HEIGHT RESIDENTS ACCESS



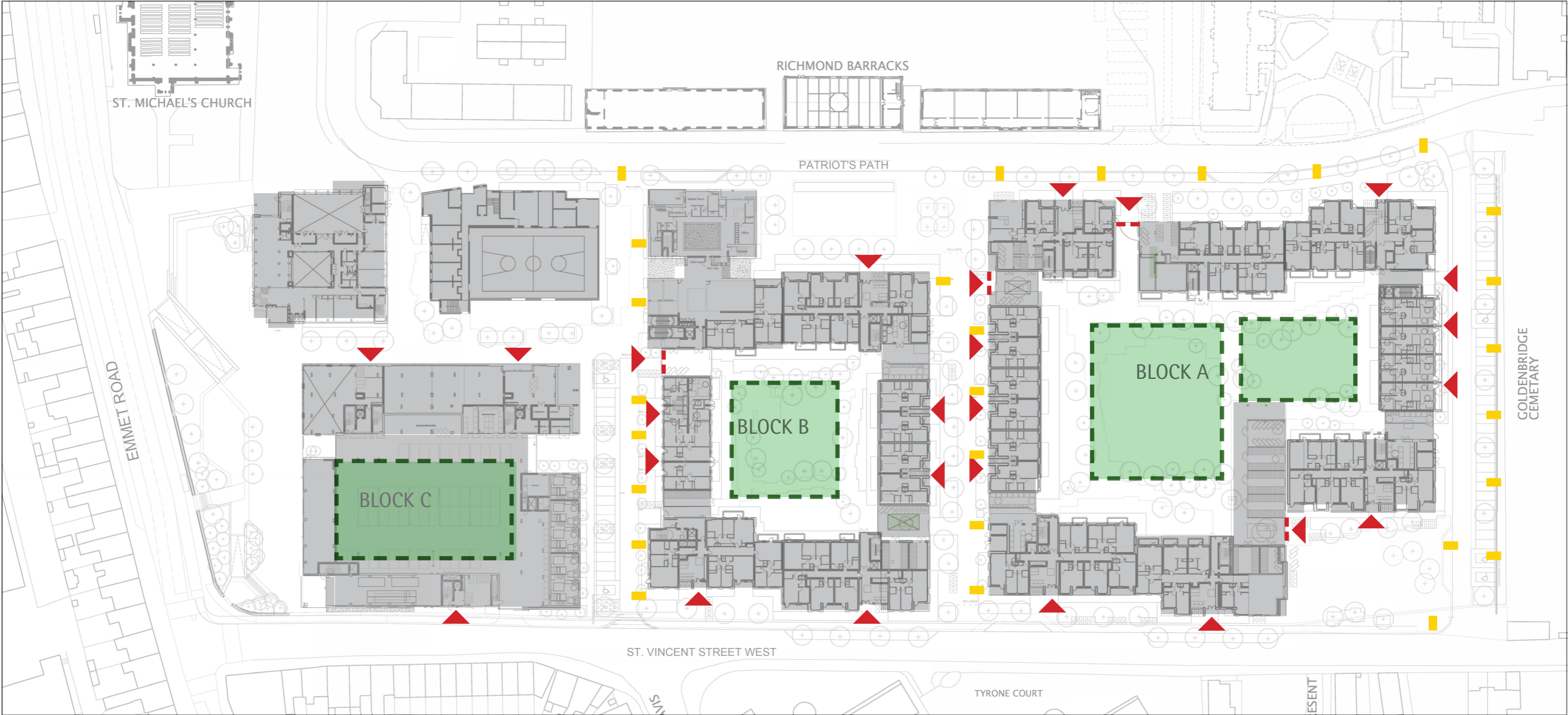
4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY : SAFE PUBLIC REALM

The design intent is to provide clear separation between public and residential private and semi-private communal open spaces. The courtyard spaces are resident-only, whereas the street spaces are public. Passive surveillance is achieved along all streets new and existing by placing residential units, entrances to units, private amenity space, entrances to buildings and apartment blocks along those edges. The stepped arrangement of the blocks along St. Vincent Street West and Patriots path provide additional surveillance along the streets north south axis. All street design employs this principle to achieve passive surveillance of the streets.

New Public lighting is part of the design of Patriot's Path and the east-west shared streets – carefully woven into the landscape design so as not to interfere with tree placement the selected light fitting has a high and a low light source – the high source lights the street, and the low source lights the pedestrian footpath. These low-light-source fittings continue on the east west pedestrian and shared streets and will serve to enhance the sense of safety and security without light spillage onto residential facades. The new public spaces are illuminated with high multi-head, multi-position light sources that allow the spaces to be stage-set for urban night uses, while not creating a nuisance to residents. Please see Street Lighting Report for further details.

- RESIDENTS ONLY ACCESS
- ▲ RESIDENTS ENTRANCES
- NEW PUBLIC LIGHTING



4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY : PRIVATE AMENITY SPACE

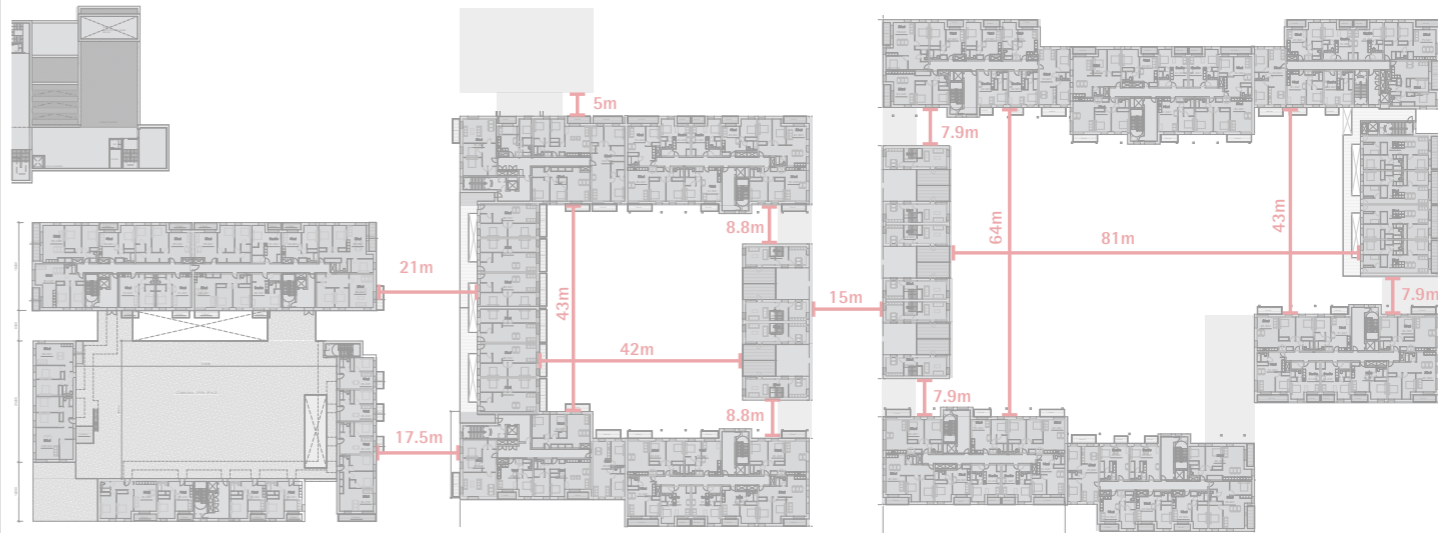
Private Amenity Space

The courtyards enclose the Communal Open Space for the main residential blocks (Blocks A & B) and on the roof of the Mixed Use Building (Block C). The Communal Open space is accessible only to residents. 2m wide privacy buffer gardens protect the private amenity space of the ground floor units from the communal open space and the public footpath.

The private amenity spaces : on the Courtyard facing facades generally the balconies are cantilevered into the courtyard space to contribute to the architectural quality of the courtyard. The southern balcony creates a strong relationship with Goldenbridge cemetery. The south facing terraces provide a human scale and human quality to the spaces they overlook.

The recessed balconies are generally located along the public roadways, along St. Vincent Street west and Patriot's Path providing passive surveillance along the street and residents can use their balconies without being unduly exposed to busy streets.

The courtyards are sized to be broad spaces in order to provide good access to daylight and views where apartments are single aspect



4. BUILDING DESIGN APPROACH
4A RESIDENTIAL BLOCK DESIGN STRATEGY : PLAYSPACES

Play-spaces are provided for different age groups as per the DCC Development Plan. The design strategy locates the playspaces for toddlers – 6 years old within the residential Communal Open Spaces, a play-space for older children is located in the public space of Goldenbridge Place. Additionally a 'parcours' area is provided for on the west elevation of the existing Inchicore Sports Community Building. This additional public space is dedicated for teens and young adults.

Refer to Landscape Architects Report and drawings for further details on all playspaces.

- COMMUNAL OPEN SPACE
- CHILDREN'S PLAYSPACE
- TEEN AND YOUTH PLAY AREA



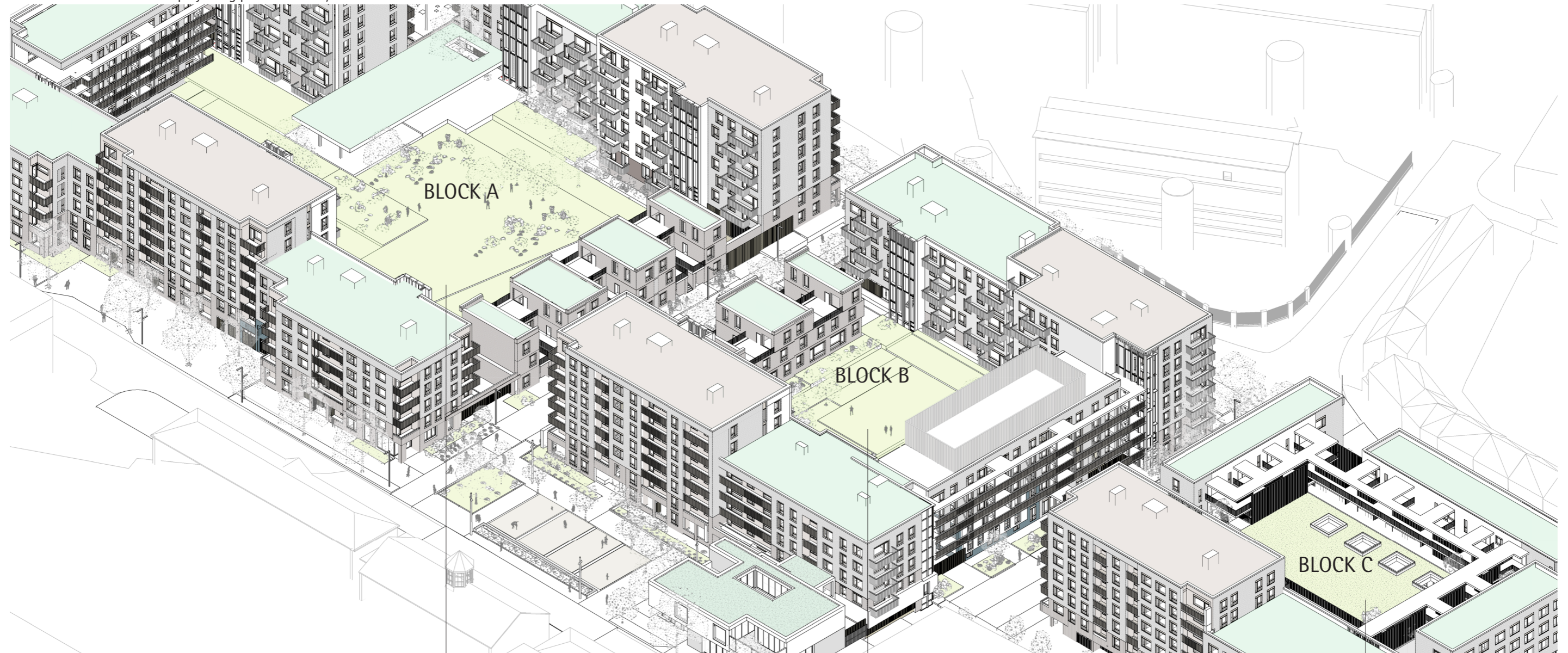
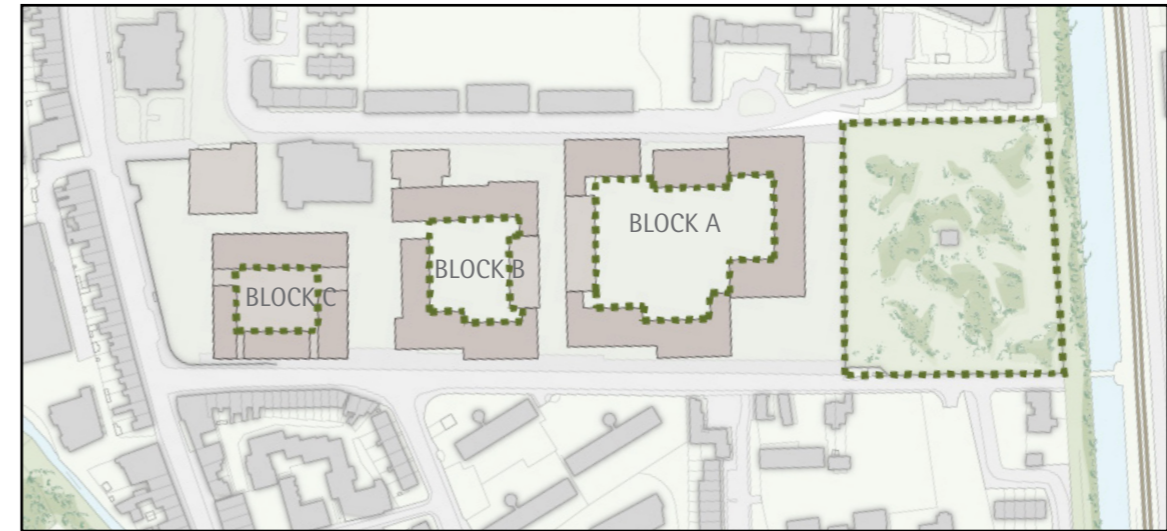
4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY : COMMUNAL OPEN SPACE

The Communal Open Space contains children's play spaces, amenity space for the residents, areas to garden, to sit and generally enjoy the shelter offered by the courtyard configuration. In each block's Communal Open Space there is a double height pedestrian access which brings visual and physical connection to the street space; to the southern courtyard the double height opening is aligned with the pocket vegetable garden and gate to Richmond Barracks directly opposite; to the middle courtyard the double height entrance is visually on axis with the north-south pedestrian route that connects Emmet Place with the existing Community Sports Building and Richmond Place*. These double height entrances are clad in brightly colored terra-cotta tiles and generously lit in the evenings. Within the Block A and Block B courtyards there are residential hub spaces which contain the waste management areas, and the majority of the bicycle parking spaces. The residential hub areas will double as exits for many residents as it will be convenient to use the waste management facility and access the bicycle storage areas on the way out of the complex.

Overlooking

As noted above, the distances between blocks and overlooking considerations have been assessed as part of the site massing strategy to achieve privacy while maintaining clearly defined pedestrian prioritised east - west streets through the site. The 3 story blocks are sheltered by their stepped geometry from direct overlooking from the blocks to the west or east. Overlooking between adjacent apartments at internal corners has been minimized by the careful placement of bed and living spaces, and limited number of screens at projecting private amenity balconies.



Communal Open Space in Block A courtyard

Communal Open Space in Block B courtyard

Communal Open Space in Block C courtyard

4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY : BLOCK ARRANGEMENT

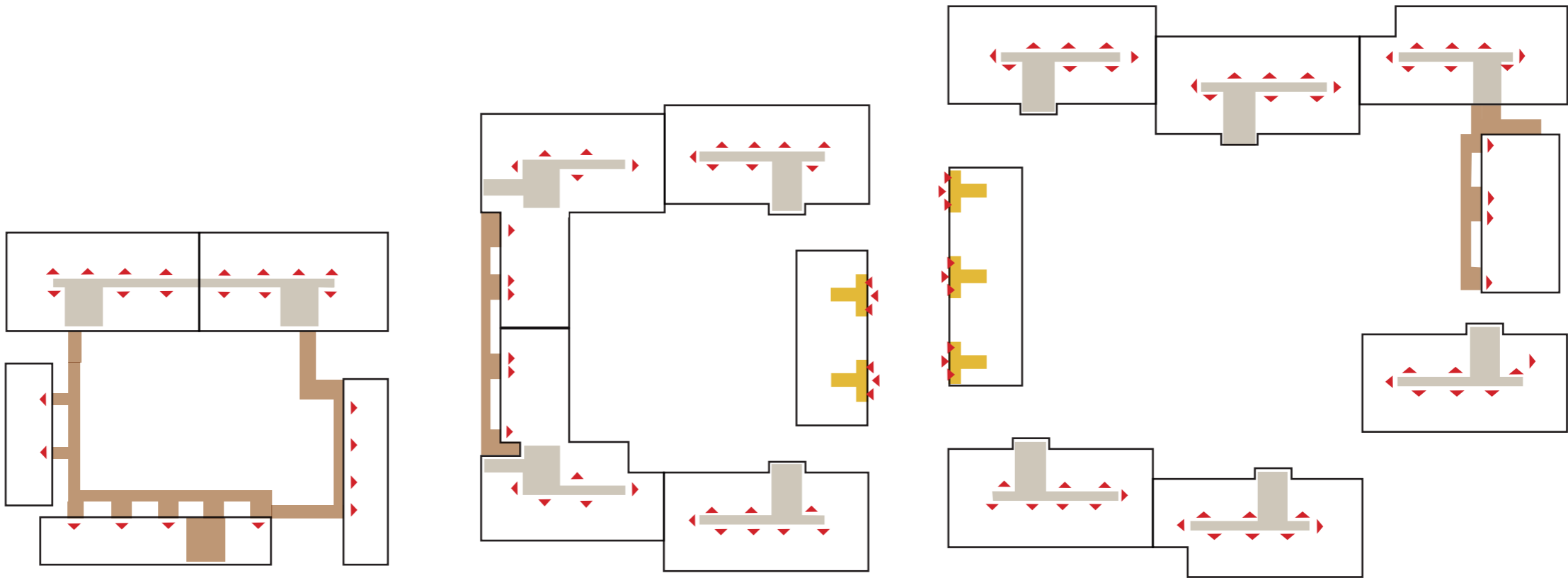
The courtyards consist of double loaded corridor blocks, gallery accessed blocks, and townhouse blocks. All apartment blocks are accessed from the street.

Double loaded corridor blocks run along the eastern and western edges of the site allowing the majority of homes to benefit from east west aspect and long hours of exposure to sunlight.

Gallery accessed apartment blocks are located along the southern edge of the project (Block A), and along the centre block (Block B) and on three edges of the northern block (Block C), providing variety to the unit typologies and variety to the street edges and courtyard ends.

The gallery accessed apartments are 'through' apartments with a south and north facing façade. In Blocks A and B the access gallery is located on the north elevation. In Block C gallery access is from the south, west and north.

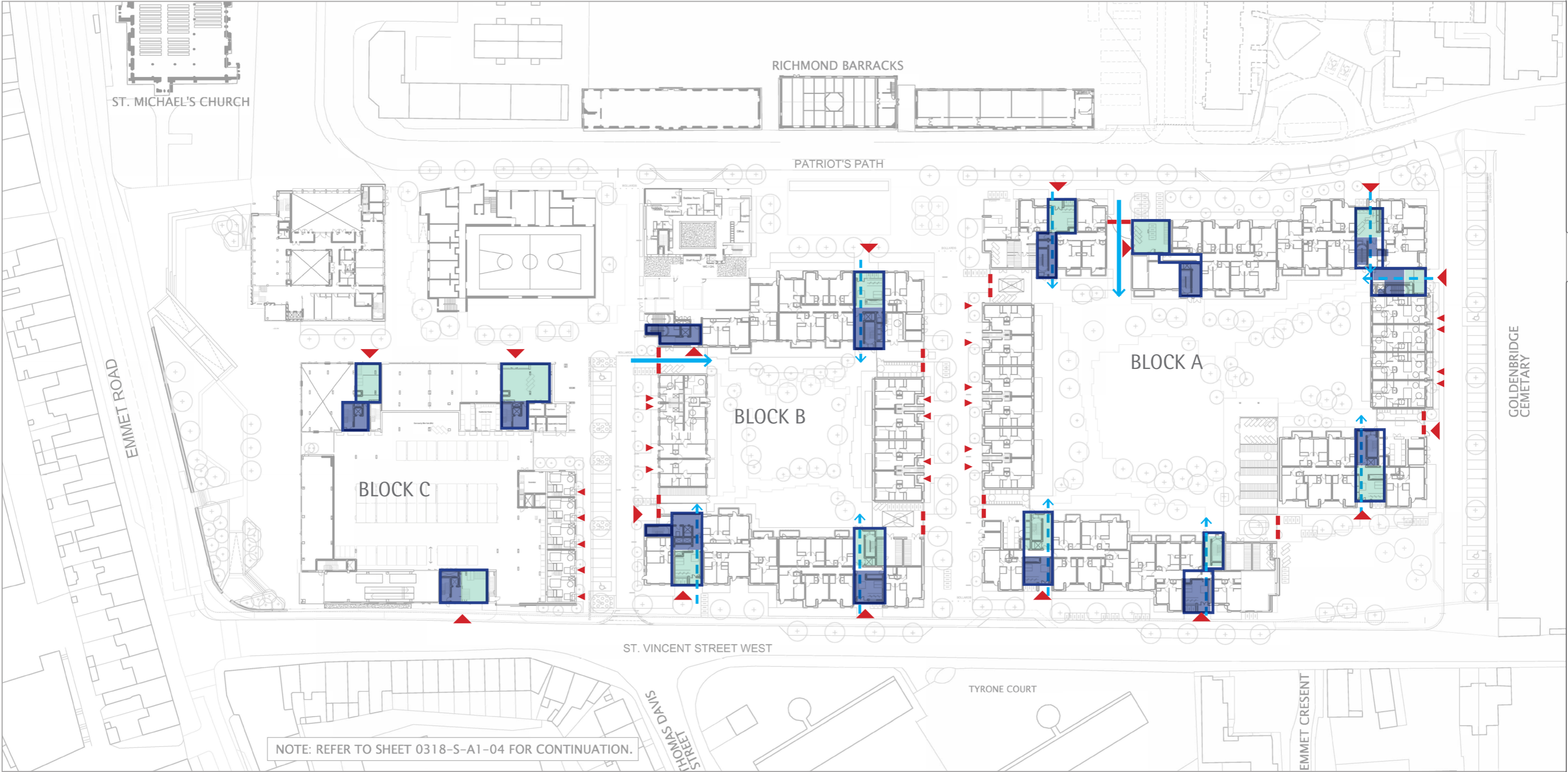
- DOUBLE LOADED CORRIDOR
- GALLERY ACCESS
- TOWN HOUSE



4. BUILDING DESIGN APPROACH
4A RESIDENTIAL BLOCK DESIGN STRATEGY : RESIDENTIAL ENTRANCES

Residential entrances reinforce Active Street Fronts : Residential entrances have been organised in order to maximise the level of active facade frontage onto streets and cross streets. Apartment buildings core access is generally provided from Patriots Path and St. Vincent Street West, while own door access is provided along all of the east-west cross streets. Access into the courtyards is via the entrance lobbies or via the Residential hubs (see Mobility section). Two double height visual gateways have been provided to link the Communal Open space to the public street, one along Patriot's Path opposite the community garden in Richmond Barracks, and the other on visual axis with the north-south connecting route between Emmet Place and the east-west street.

- SHARED ENTRANCE
- ENTRANCE
- VIEW TO COURTYARD
- ENTRANCE COUPLED WITH RESIDENTIAL BIKE STORAGE
- RESIDENTS ONLY ACCESS



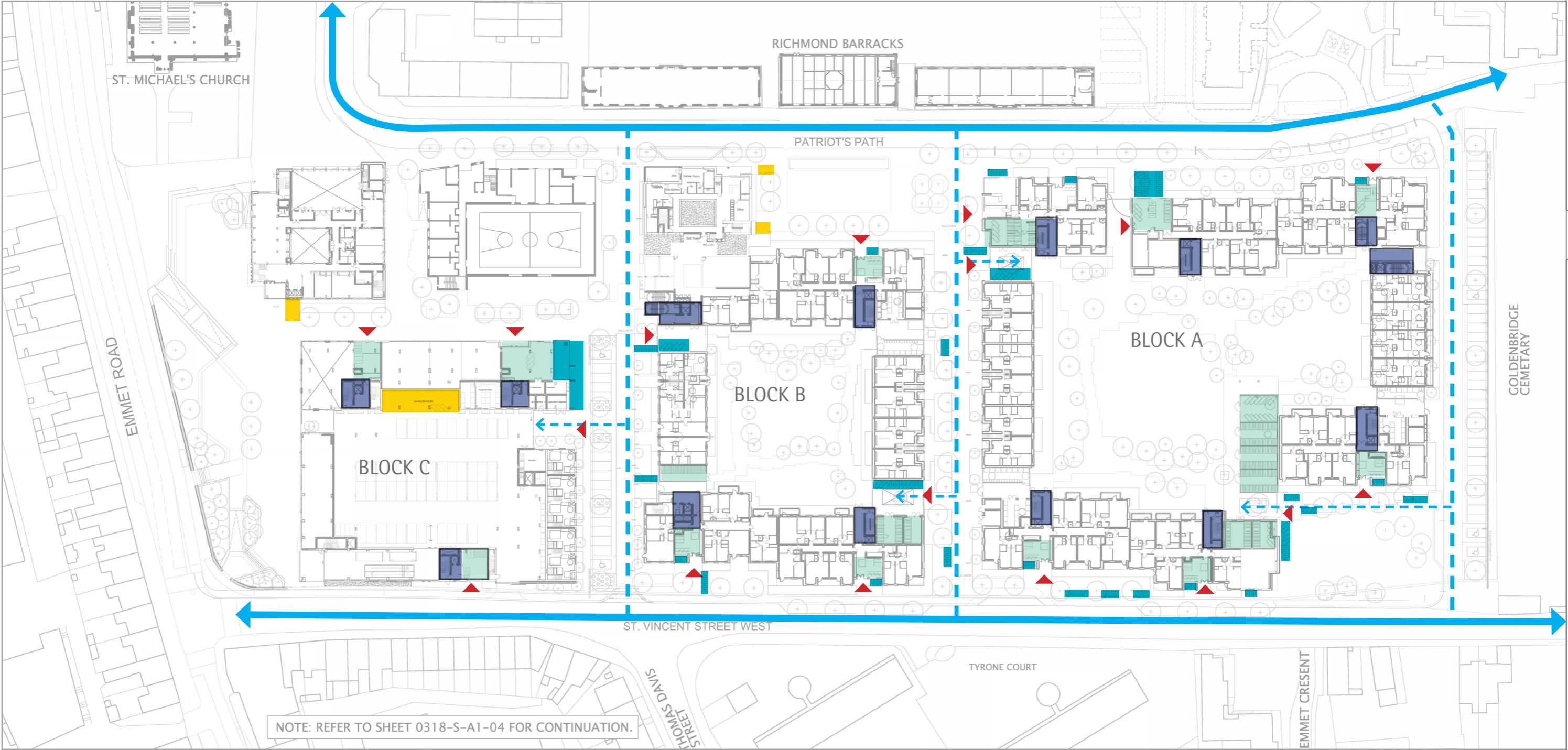
4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY : MOBILITY & BICYCLE PARKING

The design intent is to create a networked and connected series of public spaces, shared streets, pedestrian streets that connect seamlessly with the existing public realm, while enhancing greatly the access provided by the public realm, ensure ease of access for pedestrians to access the street and the nearby public transportation offerings in the first instance, to provide convenient and well-located secure and enclosed bicycle parking for residents, to provide convenient bicycle parking for visitors, and to provide a small number of dedicated residential parking spaces on the shared streets to the north and south of the cost rental apartment buildings. For further details, refer to Mobility Management Plan and related reports.

Residential Hubs : Dedicated Residential Bike Parking : At each residential entrance there is bicycle parking sized for cargo and other large-format bicycles common today, additionally three residential hubs are provided with enclosed and secure bicycle parking shelters in combination with areas for bike repair and bike wash-down, and small areas of visitor bike parking that sit within the communal open space courtyard. Visitor bike parking is located next to each residential entrance, and at all of the residential hubs. Dedicated Visitor Bike Parking is located throughout the site, adjacent to entrances, within the courtyards, within the Village Carpark under Block C, and adjacent to the Community Hub Library.

- RESIDENTS BICYCLE STORAGE
- RESIDENTIAL VISITORS BICYCLE STORAGE
- PRIMARY CYCLE ROUTE
- CYCLE ACCESS WITHIN SITE
- ACCESS TO RESIDENT'S BICYCLE PARKING
- STAIR CORE
- COMMUNITY BUILDING & LIBRARY BICYCLE PARKING



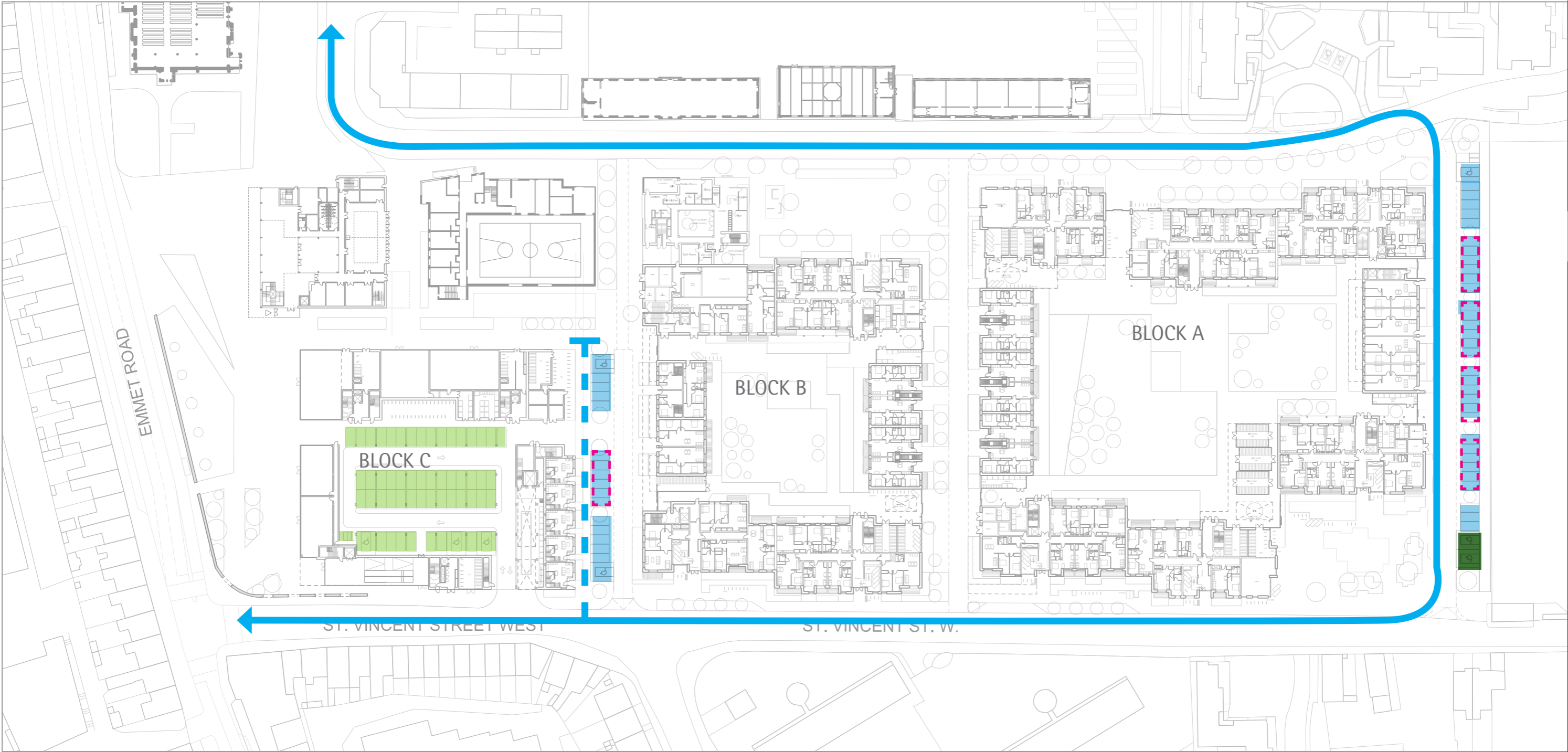
4. BUILDING DESIGN APPROACH

4A RESIDENTIAL BLOCK DESIGN STRATEGY : CARPARKING

Village Carpark : A village carpark is provided on the ground floor of the Block C Mixed Use Building, to cater for the requirements of the supermarket, retail, and Community Hub Library Building. The village carpark will cater for the needs of the supermarket, the community hub library, the creche, and the retail spaces while providing spaces for the community that can be used for car parking and general use during the day for activities in the immediate area.

Dedicated Residential Car Parking
50 dedicated residential car parking spaces are provided on the shared streets – south of Block A along the edge of Goldenbridge cemetery, and between Blocks B and C. These spaces are for residents only and include 30 spaces for car sharing schemes, and electric vehicle charging. For further details, refer to Mobility Management Plan and related reports prepared by O'Connor Sutton Cronin Consulting Engineers.

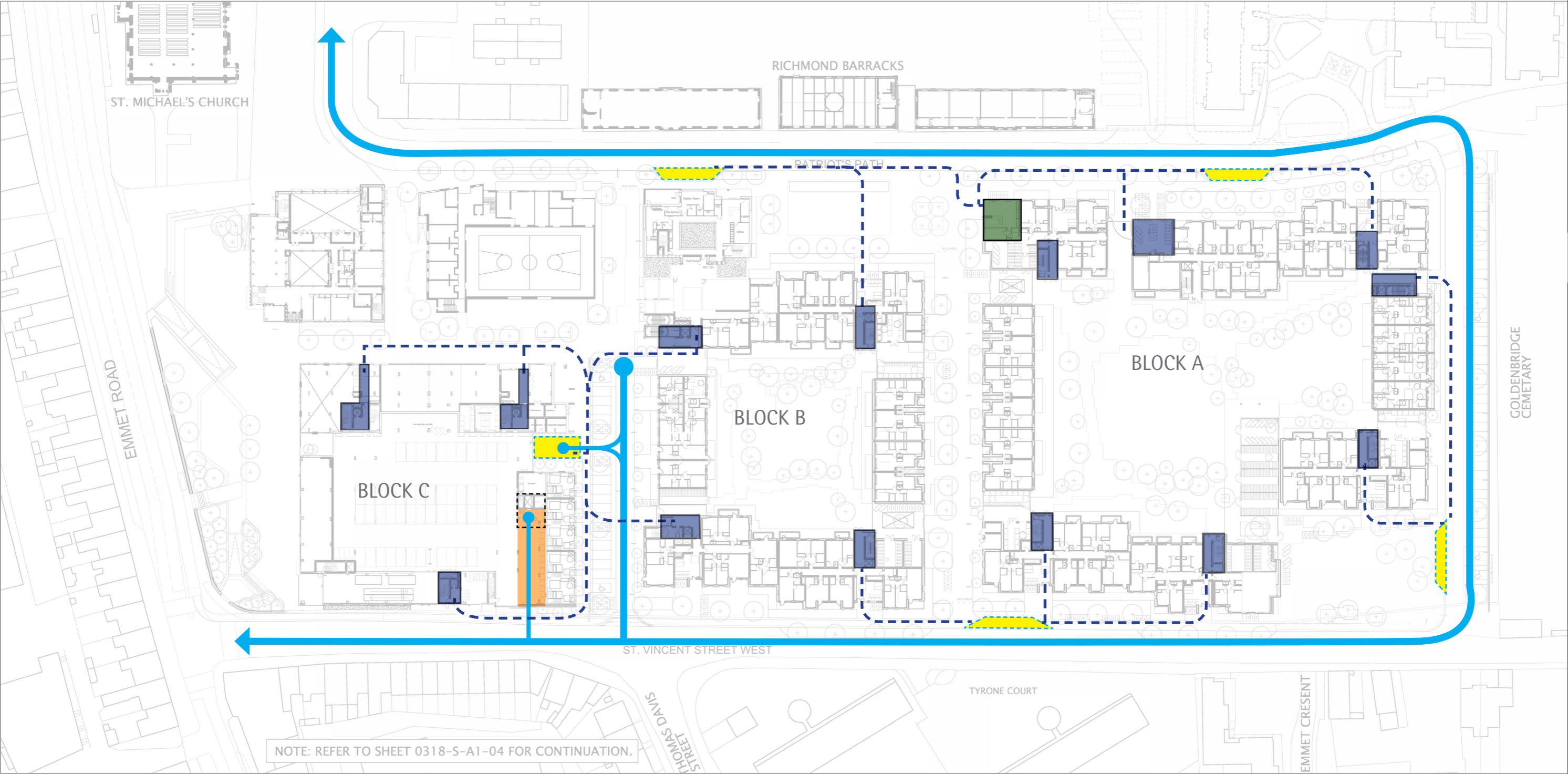
- RESIDENTIAL (50 INCL CAR SHARE)
- VILLAGE (54)
- CEMETERY (2)
- CAR SHARE (30)
- SHARED SURFACE
- VEHICULAR ROUTE



4. BUILDING DESIGN APPROACH
4A RESIDENTIAL BLOCK DESIGN STRATEGY : DELIVERIES AND LOGISTICS

Deliveries and logistics are organised adjacent to the main north-south streets and the cross street at the south the site boundary and between the commercial and public parts of the cost rental accommodation blocks. Dedicated set-down areas are located adjacent to building set-backs and at Goldenbridge place and along the southern elevation of the commercial block

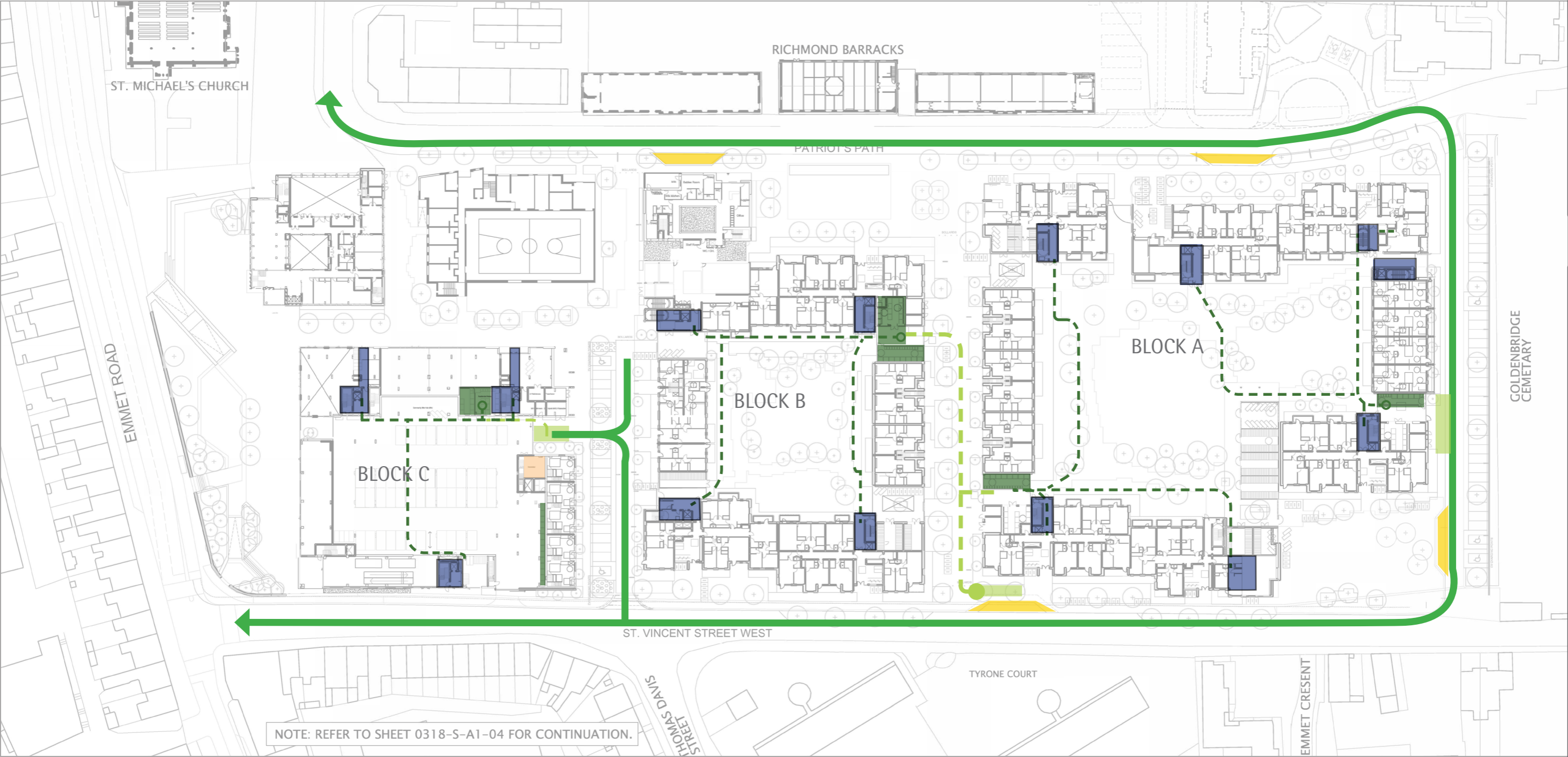
- ← VEHICULAR ROUTE
- SET DOWN AREA
- RESIDENTIAL CORE
- MANAGEMENT OFFICE
- SUPERMARKET LOADING BAY



4. BUILDING DESIGN APPROACH
4A RESIDENTIAL BLOCK DESIGN STRATEGY : WASTE COLLECTION

Waste collection is via St. Vincent Street West and Patriot's Path, and access provided off of two east west streets. Waste collection areas within the residential hubs are centralised for each block and located adjacent to vehicular stopping points along the road network.

- ← VEHICULAR ROUTE
- RESIDENTS ROUTE
- - - MANAGEMENT ROUTE
- SET DOWN AREA
- RESIDENTIAL CORE
- BIN STORE
- BIN COLLECTION POINT
- COMMUNITY RECYCLING CENTRE



4. BUILDING DESIGN APPROACH

4A MAIN RESIDENTIAL ENVIRONMENTAL AND DAYLIGHT STUDIES

Passive Environmental Design Strategies are prioritised within the residential blocks as outlined within Section 3. Residential apartment design has been informed by optimising daylight following the Spatial Daylight Autonomy metric.

The design is based on using the Spatial Daylight Autonomy (SDA) metric for evaluation of performance of the design from a daylight perspective. It is noted that the SDA metric is based on real climate data (i.e., IWE C 039690 for Dublin etc.), from which sky brightness is utilised on an hour- by-hour basis throughout a year for calculation. Consequently daylight analysis in accordance with the SDA methodology is representative of the actual sunlight conditions at a given location unlike an analysis based on the ADF methodology which is much more crude and unrepresentative of actual sunlight conditions. The design was developed iteratively using the SDA metric which assisted in the determination of window position, balcony position, and room proportions.

The assessment has been carried out for all rooms. Appendix B of the Sunlight & Daylight Analysis provides full detailed results for all rooms assessed. The analysis determined that 99% of Kitchen Living Dining and Bedrooms – 1386 of 1404 rooms- throughout the proposed development would achieve the SDA targets in terms of SDA compliance.

Good quality daylight and sunlight as set out in the SDA metric contribute to the energy efficiency and affordability of the residential units, reducing the need for electric lighting and providing opportunities for reduced heating requirements due to solar gain in the winter months. Glazing to all habitable rooms is not less than 20% of the floor area of the room in accordance with the Dublin City Development Plan 2016-2022.

Refer to separate documents prepared by IN2 Engineering Design Partnership for further details including:

- M&E Services Report
- Sunlight & Daylight Analysis (excerpt opposite)
- Climate Action Energy Statement

Mixed Use Development Emmet Road

Sunlight and Daylight Analysis

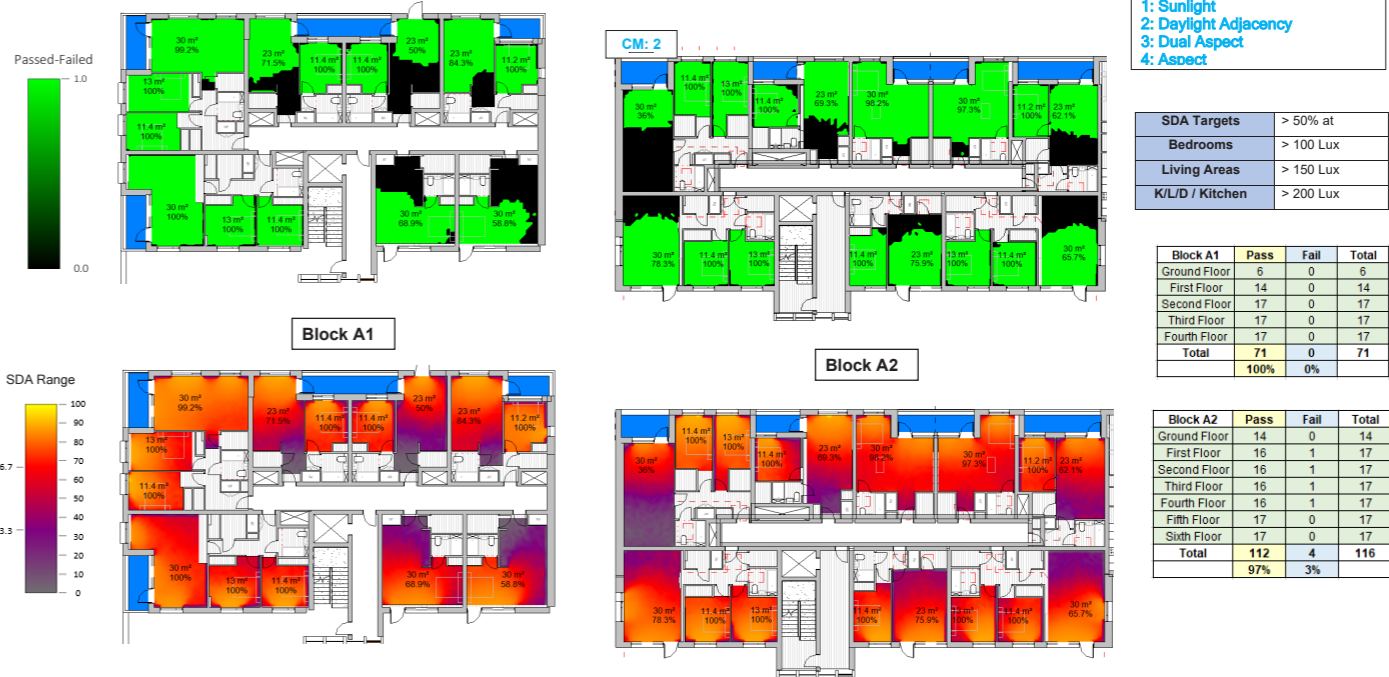


Block A1 & A2 - First Floor

Spatial Daylight Autonomy (SDA) is illustrated below with a graduated compliance scale for 0% (grey) to 100% (yellow).

The second image shows compliance as pass (green) / fail (Black) for the targets of 200Lux in KLD/Kitchen, 150Lux in Living areas, and 100Lux in bedrooms.

The Majority of units assessed were determined to be compliant with SDA with the exception of 1 unit in Block A2.



49

Mixed Use Development Emmet Road

Sunlight and Daylight Analysis

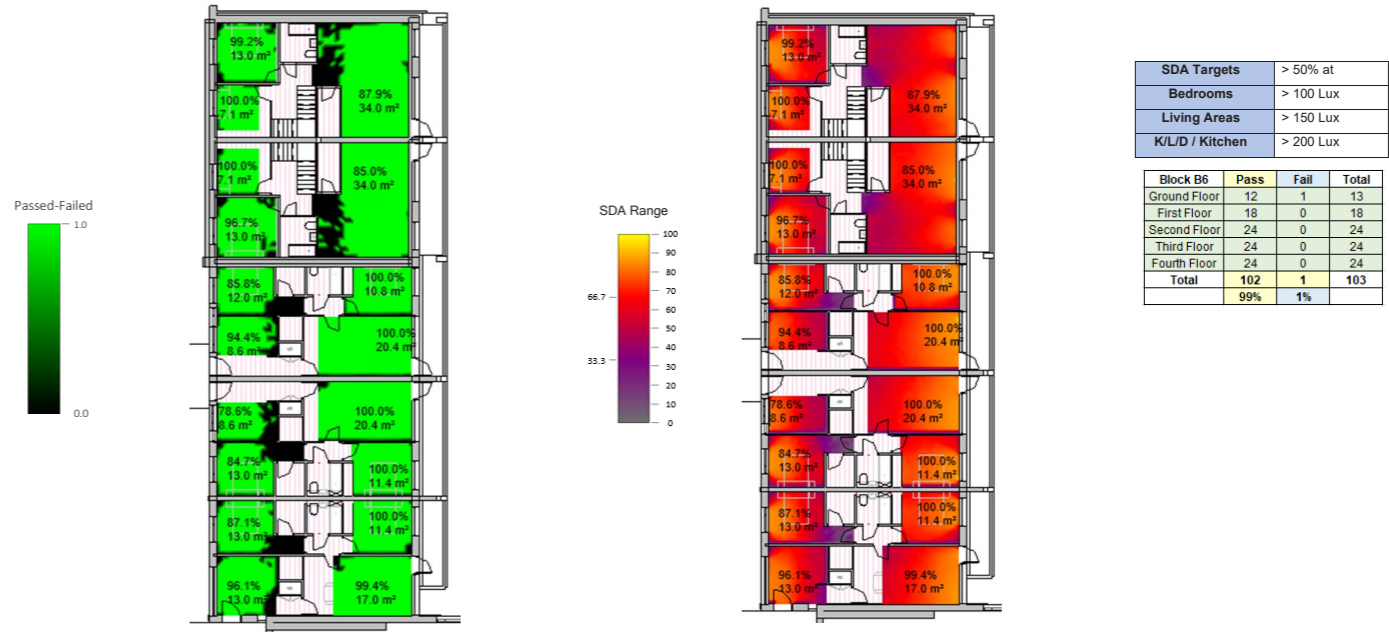


Block B6 - First Floor

Spatial Daylight Autonomy (SDA) is illustrated below with a graduated compliance scale for 0% (grey) to 100% (yellow).

The second image shows compliance as pass (green) / fail (Black) for the targets of 200Lux in KLD/Kitchen, 150Lux in Living areas, and 100Lux in bedrooms.

All units assessed were determined to be compliant with SDA.



92

4. BUILDING DESIGN APPROACH

4A MAIN RESIDENTIAL UNIVERSAL ACCESS DESIGN STRATEGY

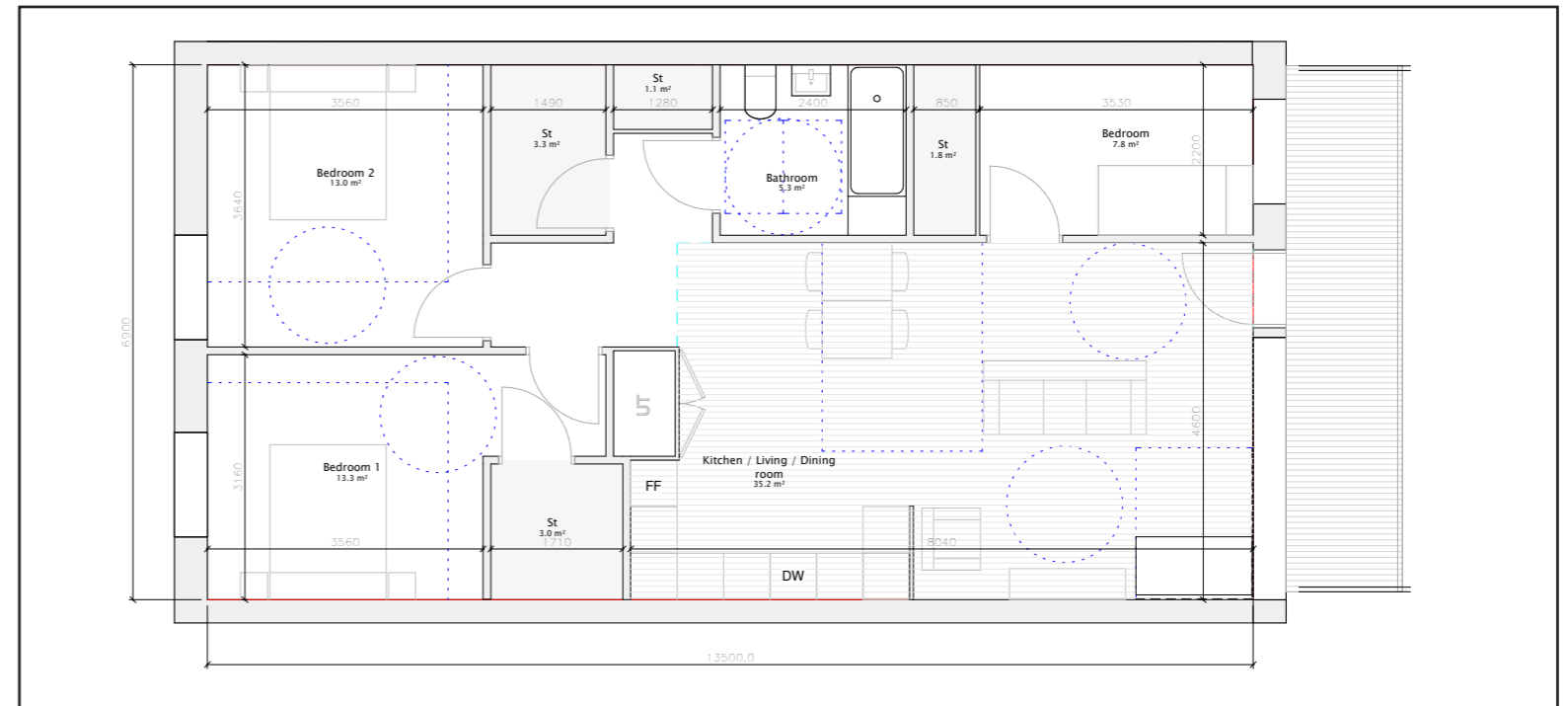
Universal Access Design principles are integrated within all aspects of the residential area design to promote inclusivity and accessibility for residents and visitors of all age groups and levels of ability / mobility. These principles are closely aligned with the Cost Rental housing model promoting sustainable long term occupancy and with the objectives of the Dublin City Development Plan.

Related aspects of the design include:

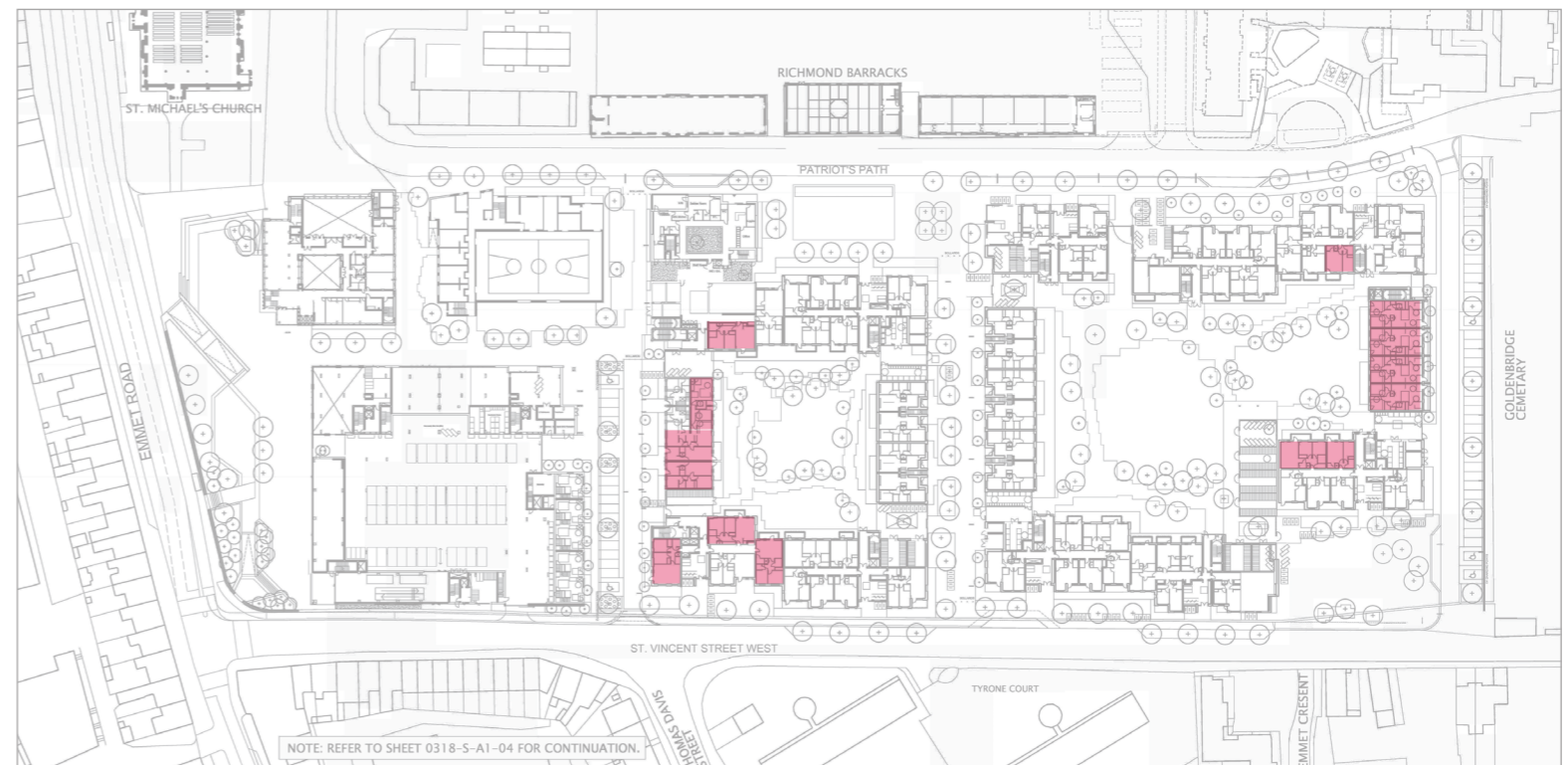
- Integration within the neighbourhood: strong permeability with pedestrian prioritised links to the existing neighborhood is a key part of the urban design strategy for the development
- Ease of Approach: Entrances are accessed by gently sloped or level access gradients, and clearly defined by distinct materials with good lighting
- Ease of navigation: Lifts and staircores, designed in accordance with TGD Part M (2010), are located in close proximity to the entrance of each residential block.
- Affordable over time: Passive sustainable design measures are embedded within the design to optimise energy efficiency, including good quality of daylighting and natural ventilation

All residential blocks and units are designed in accordance with Technical Guidance Document Part M, Access and Use (2010).

In addition to these principles, 10% of the social housing units within the overall development are also designed to meet the "UD Homes" Standard in accordance with the "Universal Design Guidelines for Homes in Ireland" (published by the NDA, Centre for Excellence in Universal Design). Each of these units is provided with own door access and is located on the East / West cross street, in close proximity to the accessible parking bays and set-down areas.



 UD HOMES



4. BUILDING DESIGN APPROACH

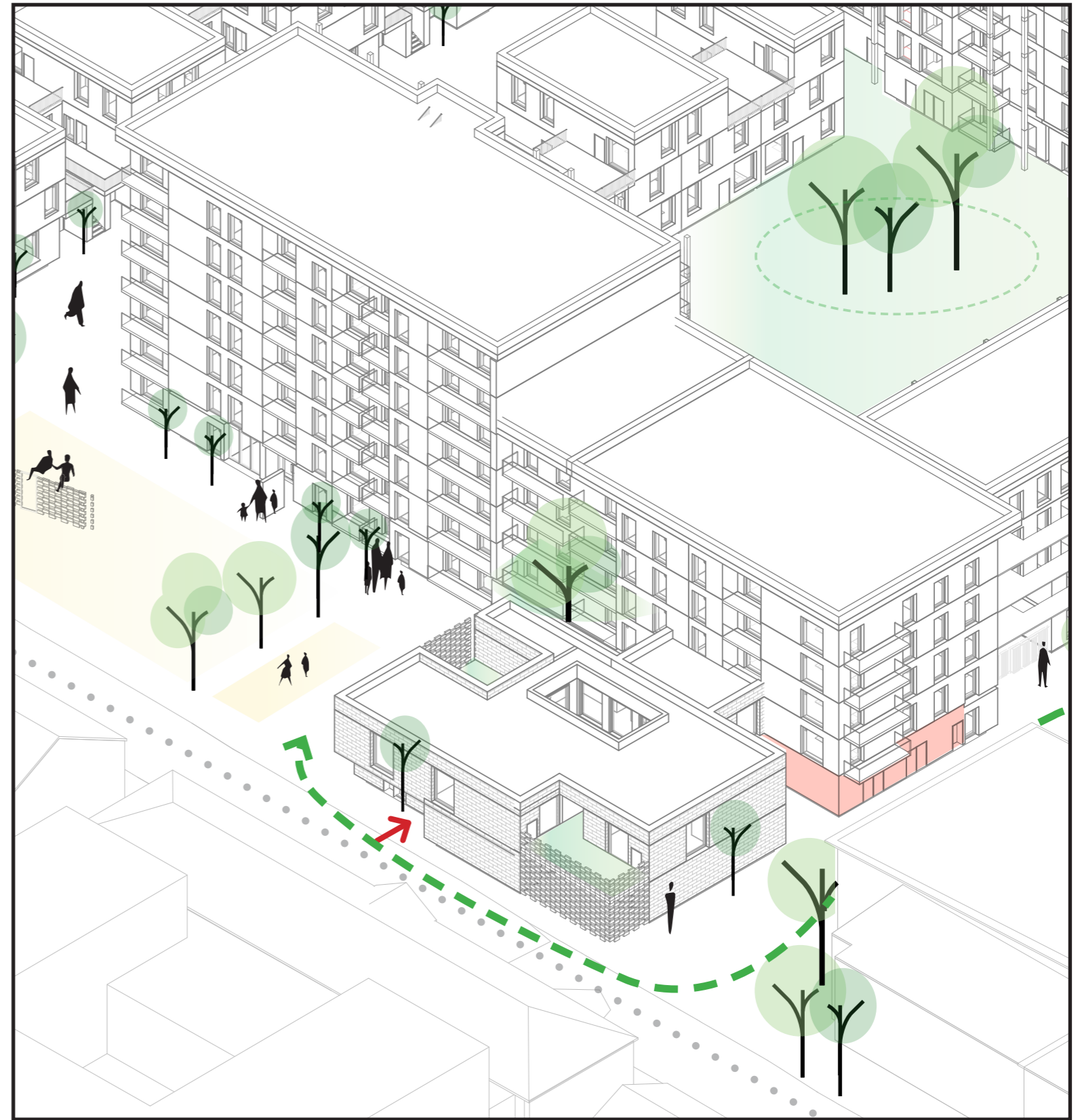
4B CRECHE

The creche, a 2-storey building to the north east of Block B, is integrated into the residential development with design consideration given to its location in the urban realm, directly opposite Richmond Barracks. Here it serves to modulate the scale difference between the Richmond Barracks HSE building and the residential buildings, whilst also framing the view of the Barracks façade from the pedestrian east-west street. It is integrated into the design of residential Block B but remains a stand-alone building that operates independently.

Located on the northern edge of Richmond Place*, the creche addresses this new space, activating the public realm with a corner entrance for parents waiting and socialising, a sheltered entry and south facing seat overlooking the new public space. A drop off area and bike parking are located close by.

The 816m² creche consists of childcare and support accommodation and is designed in compliance with the Child Care Act 1991 (Early Years Services) Regulations 2016, and relevant Best Practice Guidance, with the provision of childcare accommodation across all ages. Age specific play areas are located adjacent to play rooms in semi covered spaces oriented to receive sunlight. Younger children (0-3yrs) are accommodated in the ground floor, with older pre-school children accommodated above. Ancillary WCs and necessary storage spaces are directly adjacent to playrooms, with support spaces including staff areas, laundry, kitchen etc are located off the general circulation area. A central open space offers an informal play space and extension of the entrance foyer at busy times of drop-off and collection, whilst facilitating necessary natural light & ventilation to internal spaces of a deep footprint building.

The materiality of the creche reflects that of the residential buildings with the use of brick, with additional vibrancy being brought to the façade with glazed coloured panels. A perforated brick wall adjacent to the public street encloses the play space visually from the street, whilst bringing sounds of children at play into the public realm.



Axonometric sketch of Creche

4. BUILDING DESIGN APPROACH

4C BLOCK C : MIXED USE BUILDING

Block Layout & Design strategies

Block C Mixed Use Building is comprised of a large urban supermarket at first floor level a Village Carpark below on ground floor level, four retail units at ground floor level with two facing Emmet road along the North façade and two facing the Community Hub Library building and the existing Sports Community Building, and 91 residential units in four separate blocks of five and seven stories above ground with attendant waste management, bicycle parking, and communal open space. The brief for the design follows a model that has been recently adopted in city-centre locations for supermarkets and housing where high density development is required.

In the context of the overall development Block C Mixed Use Building, plays a key role in providing a basic urban infrastructure in terms of village car parking, bicycle parking, as well as important community service of a supermarket. The building will serve the wider community and it has been located prominently on the site so as to maximise its access to the residents of Inchicore village, provide the required car and bicycle parking for the Community Hub Library and Creche building to allow the maximum quantity of the open space be devoted to public uses.

The urban massing is complementary to Blocks A and B to the south; a five / seven story block along the Eastern edge, five story blocks along the southern, western, and northern edges. Key breaks in the massing of the blocks allows the block to address the different corner conditions, breaks down the mass of the building, and forms entrances into the Village Carpark from the north, south, and west. Along the southern edge the residential block consists of own-door accessed duplex units at the ground floor, with gallery accessed units above. Along the western edge the residential block sits above the escalator to the supermarket with the residential entrance being located at the centre of the block. Along the eastern edge the residential units sit above the café and retail spaces; there are two residential entrances to the blocks above which start at first floor level. The waste management for all of the residential accommodation is located at the ground floor south of the eastern block. The dedicated residential bicycle parking is located adjacent to the entrances consistent with the approach taken generally on the development.

The Residential Communal Open Space is located on the roof of the supermarket and accessed via the cores and galleries provided. Aluminium and timber screening is provided along the gallery decks to provide privacy to the individual apartments from the residences.

The Village Carpark is accessed from St. Vincent Street West in the southern portion of the block, Immediately adjacent to the Village Carpark entrance is the truck loading bay access; a roller-type timber gate will be used to close both the Village Carpark and truck loading bay after hours and will be able to close the truck loading bay when it is not in use. The Village Carpark is naturally ventilated and naturally lit thanks to the large openings provided along the north south axis between the residential block and the grocery store.

The supermarket's main entrance is along St. Vincent Street West at the end of the historic wall and contains an escalator lobby which will also house trolleys, and can accommodate a small number of vending machines as may be required. Pedestrians will enter the supermarket either from along St. Vincent Street West or from Emmet Place*. Patrons arriving by bicycle or car will enter the escalator lobby from inside the Village Carpark. Traveling northwards up the escalator patrons will first have a view over Inchicore and Emmet Place*, they will then turn right into the supermarket trading floor. The back of house requirements have been accommodated on the first floor of the eastern residential block, in close proximity to the goods lift. There is clear functional relationship between the loading bay, the warehouse area and the trading floor. The supermarket is naturally lit through clerestory windows along the northern, eastern, southern, and western elevations, and rooflights. Detailed internal planning / fitout will be designed by the eventual supermarket operating chain or company.



Axonometric of Mixed Use Building

4. BUILDING DESIGN APPROACH

4D COMMUNITY HUB LIBRARY

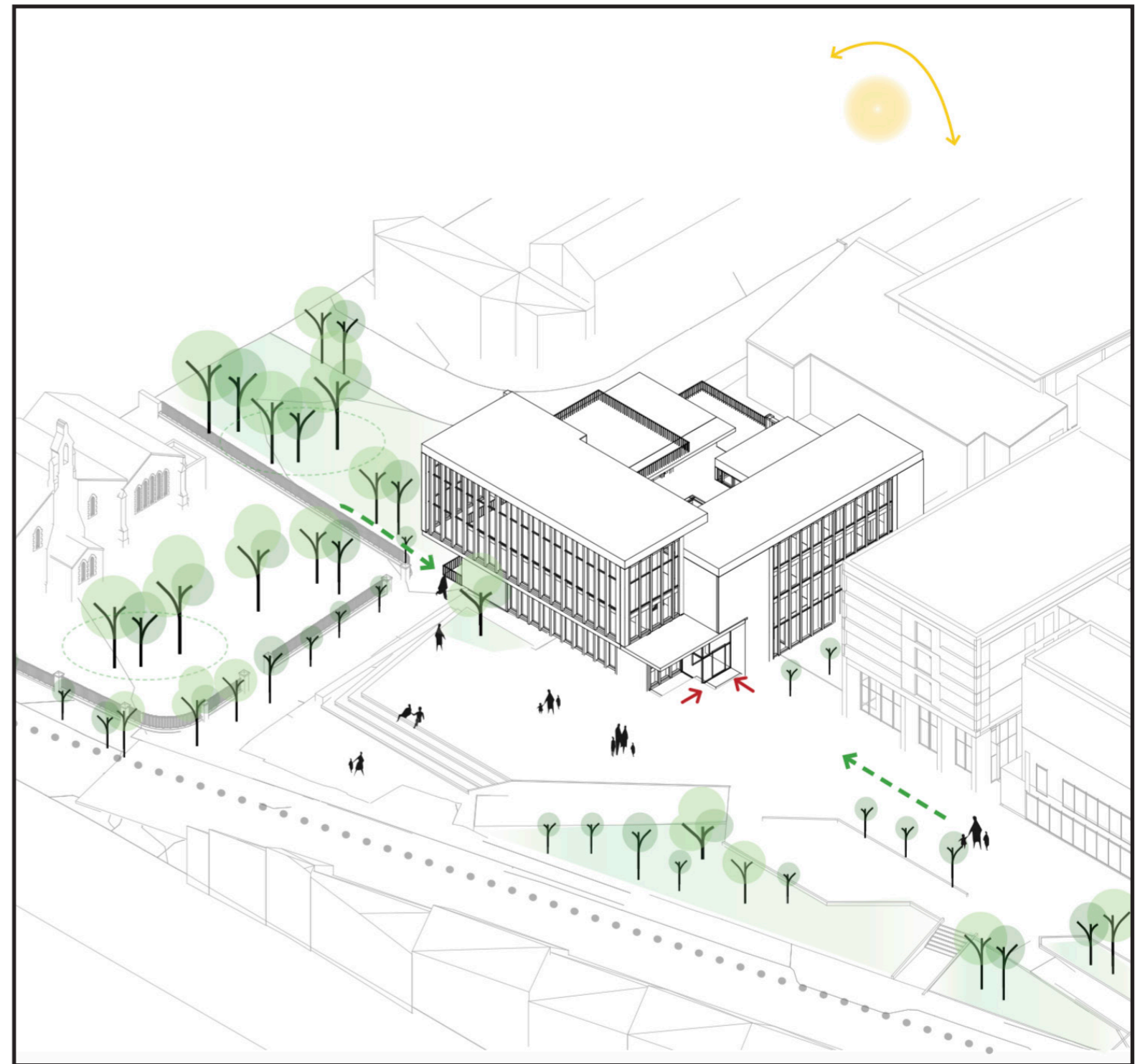
The Community Hub Library building offers an opportunity to co-locate a public Library and Community Centre, with mutual benefits arising from the synergies of activities and user groups between both. This important focal point in the community will present its main façade to the new civic plaza opening up to Emmet Road, framed by St. Michaels church and the remains of Richmond Barracks boundary wall. It is positioned both to address the new plaza and the approach to the development from Bulfin Road under the canopy of trees to the east. It will offer an inviting façade on Emmet Road, with an intensification of activity and an ethos based on universal design principles, providing welcoming and flexible spaces for use by people of all ages and abilities within the new and existing community. The design has evolved further to consultation with Community and Library representatives

A shared corner entrance from the plaza will bring visitors into a reception area, managed to facilitate varying opening hours and user groups. The building is organised around a central orienting and informal gathering space, with the Library accommodation mostly to the north on four levels, and the community spaces wrapping around the central double height roof-lit space, on three levels. The shared central space at the heart of the facility offers a space for informing and exhibiting. Anticipated to be used for information evenings and small community events, it is overlooked from above and is supported by toilet facilities etc accessible for all in close proximity. An open shared stair connects the different levels with views over the civic plaza to the north and west.

Community spaces are designed to offer flexibility in use, with a suite of rooms of different scale and nature, to accommodate the diversity of user groups of varying sizes and ages in the community. These range from small group meeting rooms, to medium sized multi-purpose rooms, to the large hall which addresses the space under the canopy of trees to the east. This ground floor hall is a multi-functional space facilitating both sports and community events, with adjacent storage space for demountable stage and audience seating. To the south, two multi-purpose rooms open out onto a landscaped space between this building and the existing Sports Centre, facilitating the extension of activities into this space weather permitting. A community kitchen located between these and the large hall can directly support events in both of these spaces, and also be used to facilitate activities in the central space. A 'maker space' activates the north-south pedestrian route on the west façade. At the first floor, group rooms and a larger multi-purpose room are supported with break-out seating area overlooking the large hall, storage rooms for equipment, accessible showers and changing spaces. Staff facilities are also included. A shared roof garden at second level offers sheltered external seating areas. Smaller meeting / office areas are located at this level also.

The Library incorporates an open and inviting entrance level for casual visitors with an area for journals etc and a self-service coffee dock, overlooking the approach from the tree lined path to the east. RFID technology is anticipated with self issue and discharge points maintaining an open and accessible public interface. On the first floor the children's lending and reference library areas includes a storytelling and an arts&crafts area with sink for workshops etc. The next level incorporates general teenager and adult reference and learning / study areas, and open plan staff work spaces, along with access to the shared roof garden with seating areas. The uppermost level incorporates the high ceilinged main adult reading space with views north towards Phoenix Park. To the west are located seminar / meeting rooms, along with the Librarians office and staff facilities. A large roof garden at this level benefits from a south east facing aspect, with views over the canopy of trees to the east and of the Richmond Barracks cupola to the south. In the library spaces easily visible staff 'assist points' are located on each level. All levels are universally accessible, and unisex universally WC provision and baby changing facilities are provided.

The form massing and orientation of spaces are designed to optimise the penetration of natural daylight and ventilation into spaces, with consideration for sun and wind path, maximising the used of naturally available energy and reducing the need to rely on mechanical ventilation etc. The sustainable environmental strategy for the central space includes the supply of fresh air via ground ducts, exhausting via 'solar chimney' vents, obviating the need for mechanical ventilation. In addition to reducing energy bills and operational carbon, a holistic sustainability approach is taken to the material strategy for the building which seeks to optimise the use of low embodied carbon materials (e.g. timber) in structure, cladding and internal finishes. Facades are made of brick to complement the brick elsewhere, with transparent and translucent insulated glazing, in a combination of timber framed window wall and aluminum curtain walling.



Axonometric view of Community Hub Library

5. FACADES & MATERIALITY

5.A DESIGN INTENT BLOCKS A & B

Design Intent : Treatment of Elevations, Detailing, Materiality and Finishes

The overall design intent in terms of expression, facade rhythm and proportion, materiality and colour tone is:

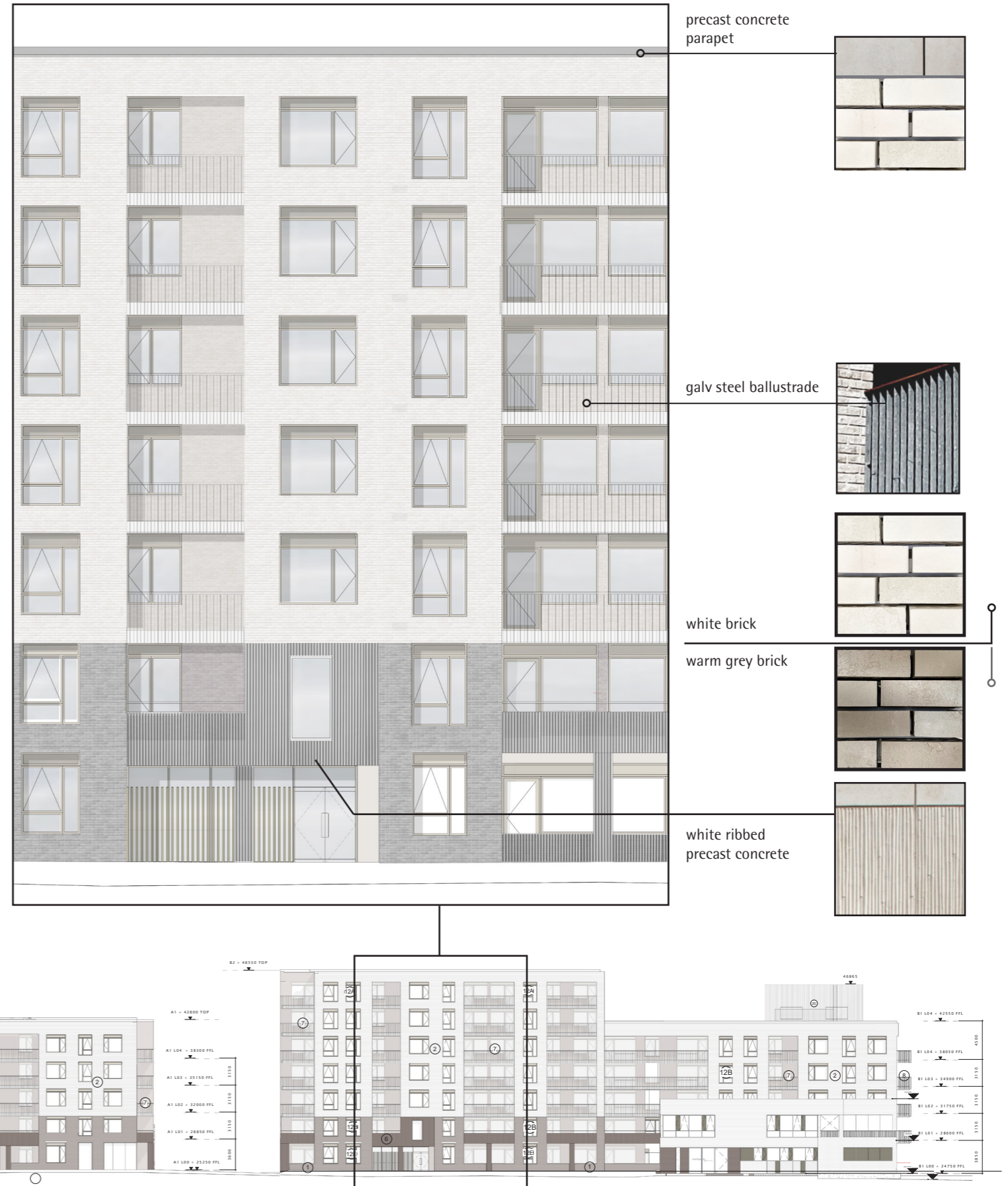
- To establish strong street edges along St. Vincent Street West, Patriot's Path that provide civic scale and character, taking care to ensure that facade order, proportion, solid to void ratio are considered as ensemble that contribute to the reading of the street and the re-construction of urban form.
- To establish a strong urban presence and feeling of continuity with the city-scape of Dublin through the employment of brick as the primary material addressing Vincent Street West and Patriot's path
- To enhance and maximise the quality and quality of daylight at street / ground level with façades of white bricks , and white render, both with a high light reflectance value.
- To establish a consistent rhythm of vertical elements along the street scape and decompose the blocks along their length through the inseting of balconies, presenting a brick corner to the street at each inset.
- To create generous spaces with the street by stepping back the 7 storey blocks; this provides windowed gable facades ensuring that the street is surveilled both up and down its length and across its width.
- To establish a calm and ordered façade to Goldenbridge Cemetery along the South Elevation of the Cost Rental & Social Residential blocks, that engages the Limestone wall and treed landscape behind
- To establish a ordered façade facing the Commercial part of the project along the North Elevation of the Cost Rental block.
- To unify the three different elements of the project – the residential component, the commercial component, and the library community hub component into a coherent yet vibrant ensemble by creating façades that borrow elements from each other, share elements where functions are shared, and that use similar fenestration details at ground level; along the façade, at entrances.

Throughout the design a strong emphasis is placed on durability and robustness of materials as an integral aspect of long term sustainability in terms of low maintenance, and the use of natural materials such as clay bricks, clay blocks, timber, and vapour permeable render is maximised

Affordability : Envelope design

The impact of design as one criteria of affordability has been a key consideration – the project has incorporated design efficiencies at a number of different scales:

- optimising and prioritising environmental performance within capital budget in order to reduce ongoing energy bills
- Standardising window sizes and openings within constraints of daylight requirements
- Standardising balcony sizes and configurations as much as possible
- optimising the use of robust long-life durable materials, resulting in reduced ongoing maintenance & replacement costs
- design to anticipate use of prefabrication techniques as much as possible



East Elevation 1/2
1:200

View of East Facade

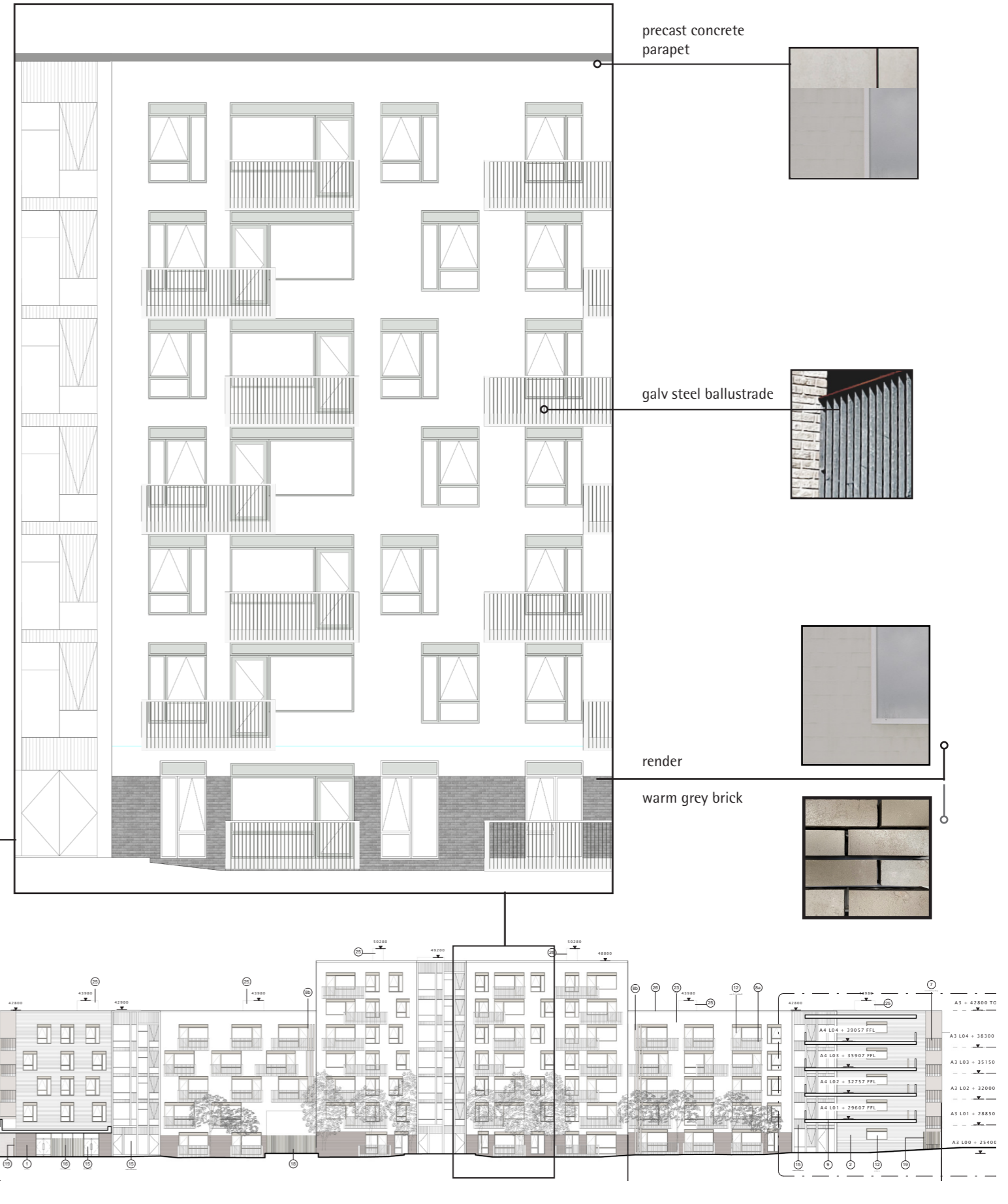
5. FACADES & MATERIALITY

5A DESIGN INTENT BLOCKS A & B

The Residential Facades –

The intent is to create an ordered and civic façade treatment while also incorporating the elemental aspects of residential use that expresses a quality of home, and of warmth on the street, and a sense of community within the courtyard. This is achieved through the use of the inherent organisational module of the typology, slightly adjusted to align with brick dimensions and optimised construction build-ups. The main driver of efficiency is the careful planning of each apartment unit which allows the façade to communicate both the inherent efficiency and elegance of these plans.

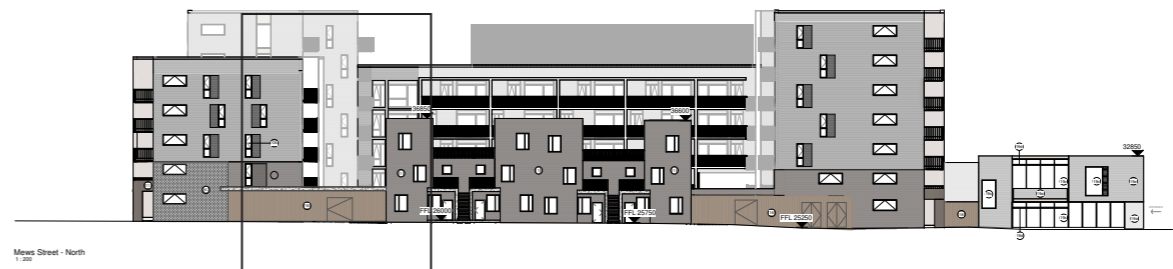
- Street facing facades are clay brick – white clay brick, off white clay brick, and light warm grey clay brick. The white and off-white brick with a high light reflectance value when measured with the CIBSE reflectance value colour chart (2.1).
- Windows set within shallow white clay brick reveals are made of aluminium with aluminium flashings.
- Window frames on the courtyard side of the wall are aluminium and are situated on the inside plane of the wall within aluminium reveals made from 5mm aluminium plate.
- Entrances to apartment lobbies along the street edge are identified with fair-faced concrete panels, glazed panels in front of bike rooms are visually screened with hardwood vertical screens.
- The two double height entrances / visual access connections are clad in brightly colored terracotta tiles.
- Courtyard elevation is a combination of brick on returning walls from gables to stair cores and render between stair cores. Render is generally used in the courtyard where it is exposed to direct sunlight, and generally not on north facing elevations.
- Stair cores are clad in aluminium windows / curtain wall with vision glass from floor to ceiling to maximise daylight in the areas of vertical circulation and the sense of engagement with the courtyard.
- Courtyard elevation consists of offset windows and balconies from floor to floor in order to manage overlooking and daylighting issues, to add visual interest and variety to the courtyard.
- White permeable render is used due to the fragmented nature of the courtyard elevations and the absence of large vertical surface areas.
- Render is white in colour.
- The gallery access to the north elevation of the middle courtyard is made of galvanised steel with non-slip deck and hardwood handrail on galvanised steel uprights.



5. FACADES & MATERIALITY

5A DESIGN INTENT BLOCKS A & B

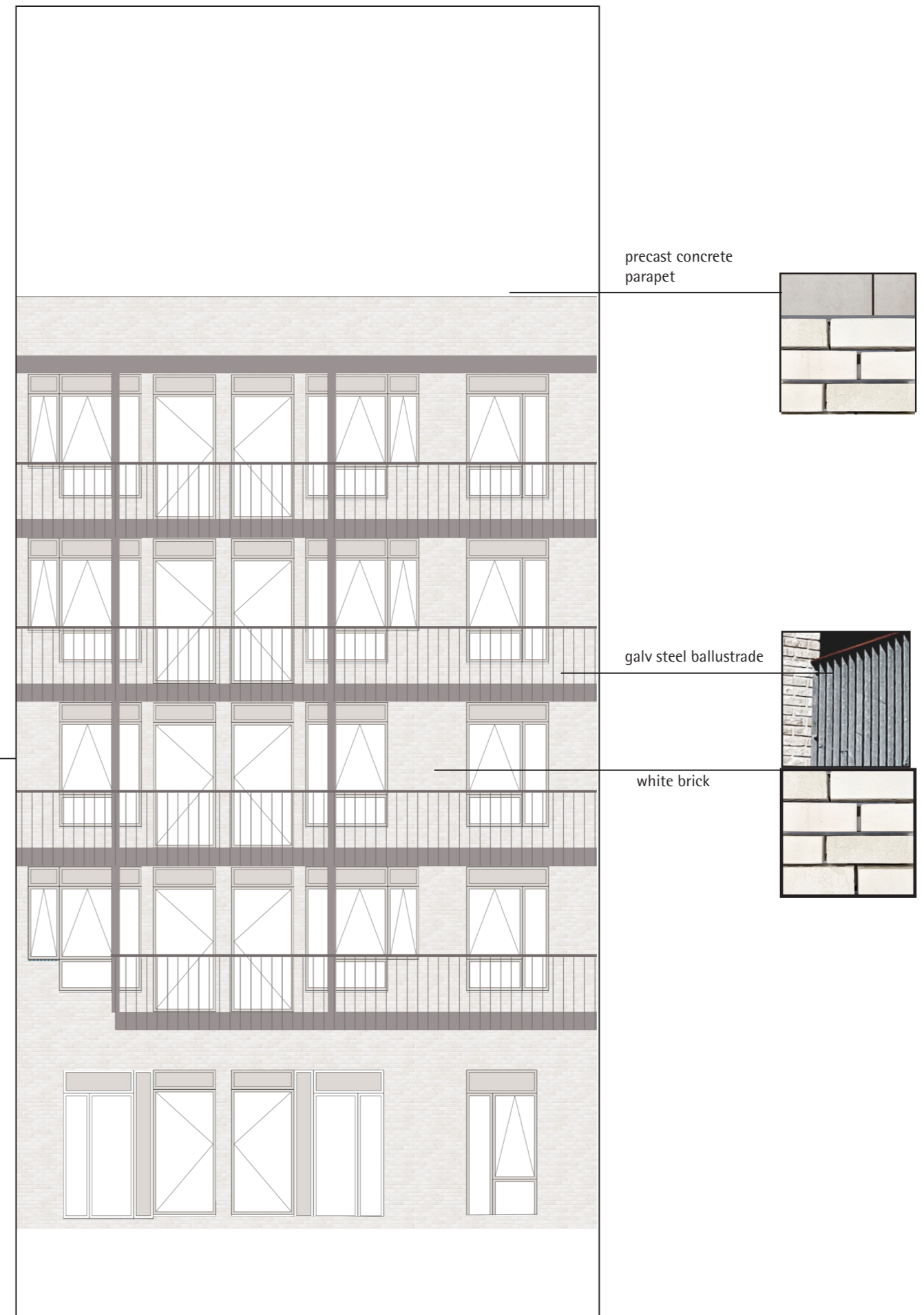
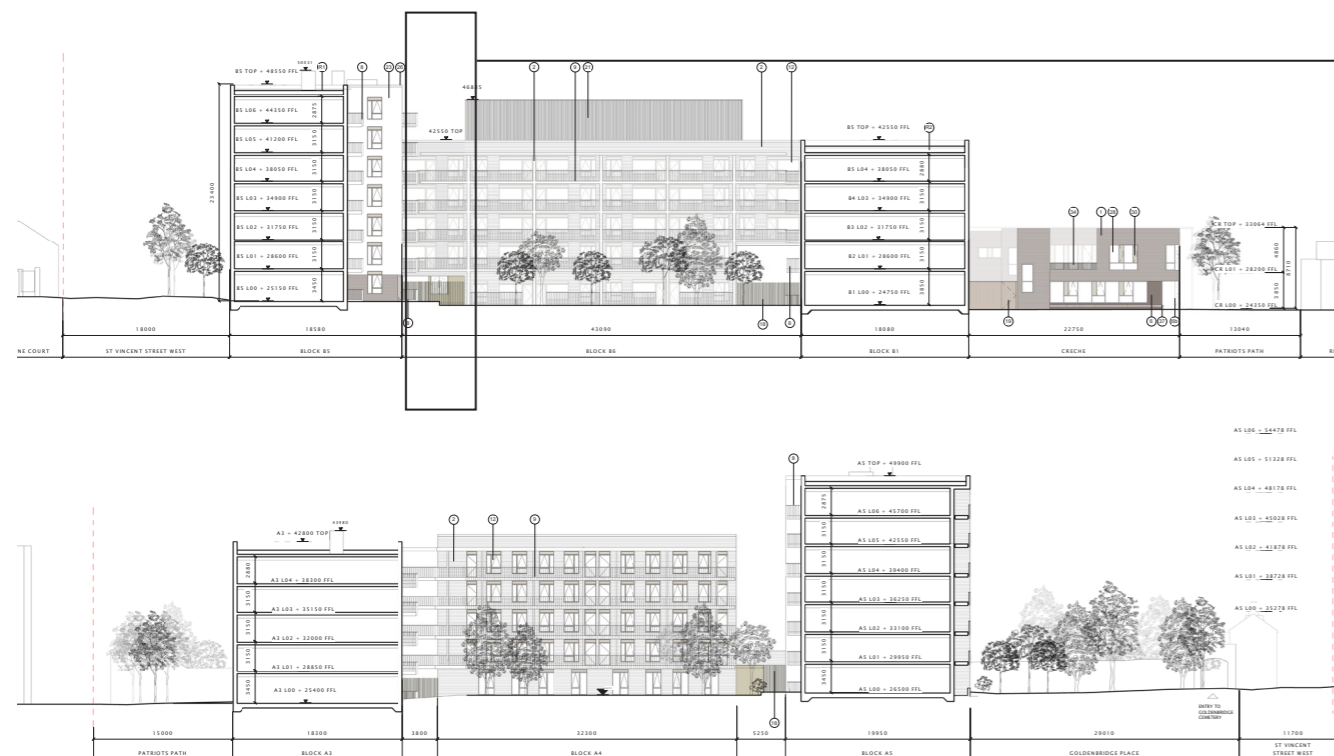
- Private amenity space balconies and decks are generally constructed of galvanised steel clad in non-slip decking, galvanised steel vertical uprights along the street edge. All balconies for the studio, 1 BR are self-draining, balconies for larger units have integrated downpipes concealed within the wall buildup on the street side, and within the privacy screens on the courtyard side.
- The private amenity spaces / balconies on the courtyard façade incorporate vertical metal privacy screens in very limited areas.
- The private amenity space terraces to the south overlooking Goldenbridge Cemetery are steel and timber structure, non-slip deck and handrail.
- The Gable elevations are white brick on the upper floors and off-white / warm grey on the ground and first floor
- The waste management areas that are part of the residential hubs are treated with durable steel and timber screens consisting of vertical hardwood panels with integrated doors, as are service rooms (switch rooms etc.)
- The bicycle storage area facing the street are glazed with a screen consisting of steel framing with vertical steel and hardwood elements



5. FACADES & MATERIALITY

5A DESIGN INTENT BLOCKS A & B

- Courtyard elevation consists of offset windows and balconies from floor to floor in order to manage overlooking and daylighting issues, and to add visual interest and variety to the courtyard.
- White render is used to enhance the fragmented nature of the courtyard elevations and the absence of large vertical surface areas.
- Render is white colour permeable providing a gentle ripple texture to the façade broken by horizontal creases at the joints. This ripple texture, will serve to increase the lifespan of the render facade by providing better water runoff, make the wall visually appealing as it will be uniform in colour and slightly profiled in texture.
- The gallery access to the north elevation of the middle courtyard is made of galvanised steel with non-slip deck on galvanised steel uprights.
- Private amenity space balconies and decks are generally constructed of galvanised steel clad in non-slip decking, galvanised steel vertical uprights along the street edge. All balconies for the studio, 1 BR are self-draining without integrated drainage systems, balconies for larger units have integrated downpipes concealed within the wall buildup on the street side, and within the privacy screens on the courtyard side.
- The private amenity spaces / balconies on the courtyard façade incorporate vertical metal privacy screens in very limited areas.
- The private amenity space terraces to the south overlooking Goldenbridge Cemetery is a steel or timber structure, non-slip deck and handrail.
- The Gable elevations are white clay brick on the upper floors and off-white / warm grey clay brick on the ground and first floor
- The waste management areas that are part of the residential hubs are treated with durable steel and timber screens consisting of vertical hardwood panels with integrated doors, as are service rooms (switch rooms etc.)
- The bicycle storage area facing the street are glazed with a steel and timber screen consisting of vertical steel and hardwood elements.

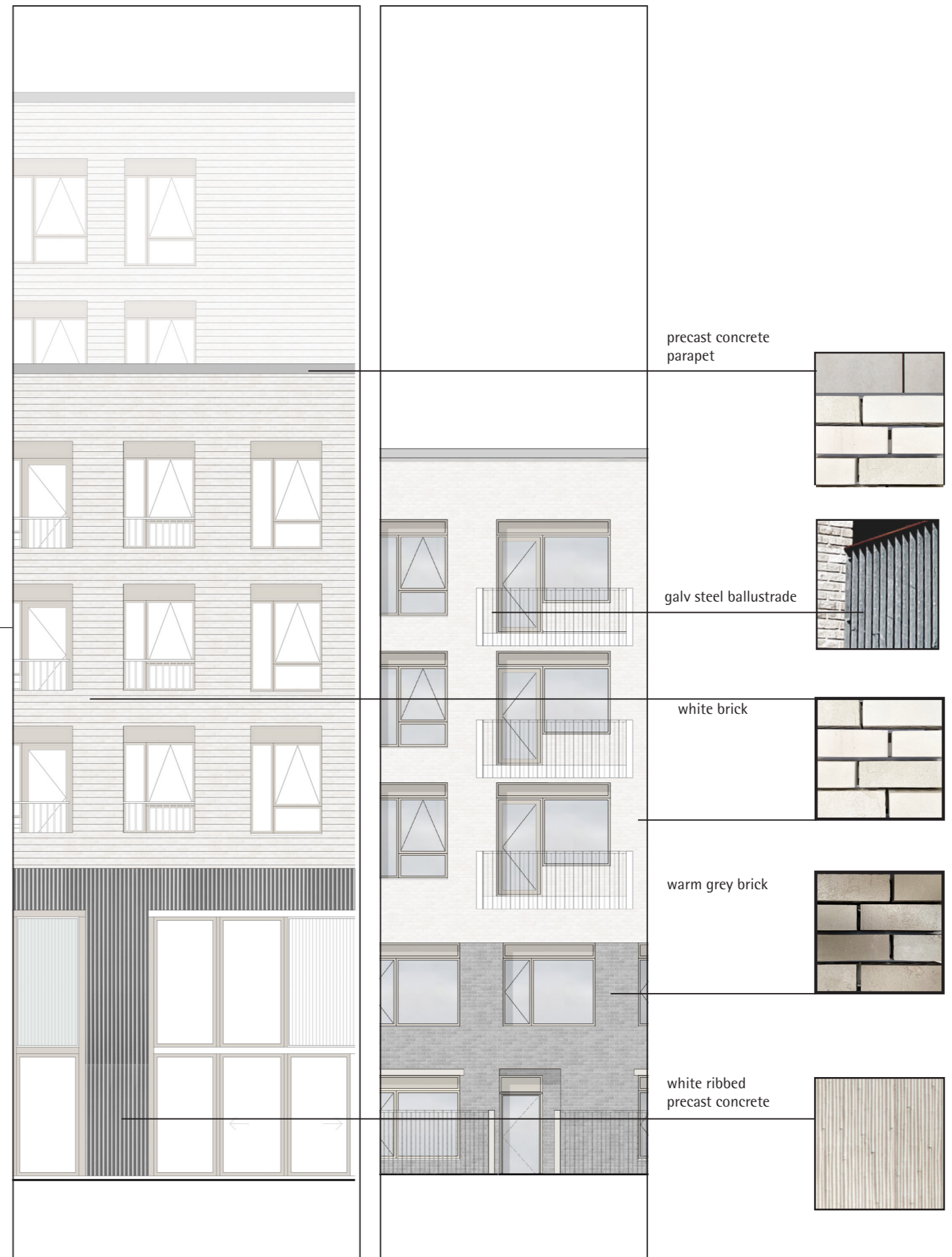


5. FACADES & MATERIALITY

5A DESIGN INTENT - BLOCK C MIXED USE BUILDING

Block C The Mixed Use Building plays an important background role in orchestrating and facilitating the urban environment around it, and each façade, plays a different role in providing a backdrop to the urban environment around the building; The North façade creates an engaging edge to the Civic plaza (Emmet Place), to allow the new Library Community Hub building address the civic plaza while connecting with it in terms of material at the ground floor, and to defer to St. Michael's church façade as the most significant façade addressing the civic plaza. The café façade is a double height aluminium curtain wall to match the ground and first floor of the Library Community Hub, while the East façade establishes a rhythm along the north-south pedestrian street which engages and invites people from Emmet Plaza to Richmond place shopfronts made with the same aluminium window frame as the Library Community Hub. The residential development above employs the same facade treatment as the main residential site. On the ground and first floor where the uses have a commercial use, aluminium curtain wall with timber screening is used both to lessen the impact of artificial light overspill to the residences along St. Vincent Street West to the West, and to relate the scale of the building to the scale of Emmet Plaza and the Historic Wall of former Richmond Barracks.

The materials reflect those of Blocks A and B; the window, balcony types, brick types and colours, and render cladding are matched to ensure overall consistency, coherence, and legibility of the development, transforming them at ground and first floor level to address the taller scale of the retail and supermarket. The upper floors facing the streets are clad in white brick to maximise the reflection of daylight onto the public realm and the apartments with aluminium framed windows and galvanised steel balustrades to the terraces. The courtyard is white render to maximise reflection of daylight into the apartments. The retail and supermarket are set out with vertically textured white precast concrete units with aluminium framed glazing. Vertical screening in aluminium and timber on upper floors and in the gallery surrounding the communal open space, and galvanised steel framed timber on the ground floor is used at entrances and all facades to the supermarket, and high-level connections from the vertical cores to the galleries. The ground and first floor of the south facing residential block is warm grey brick to match the cost rental ground and first floor apartments.



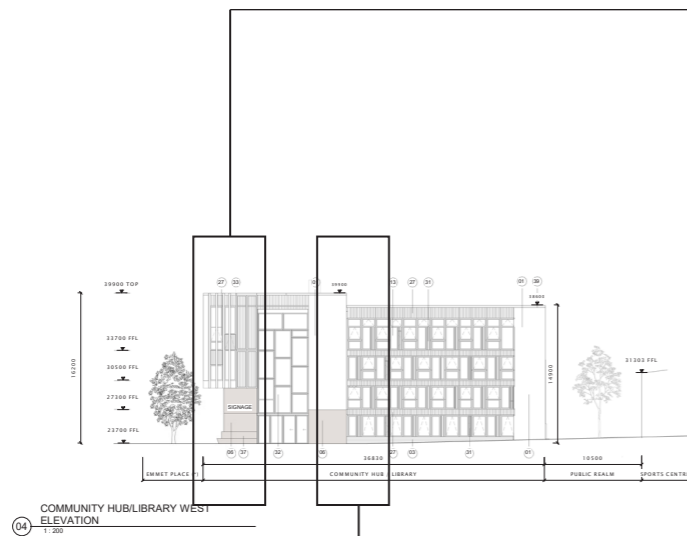
5. FACADES & MATERIALITY

5A DESIGN INTENT - COMMUNITY HUB LIBRARY

Community Hub Library

The materiality of the Community Hub Library building reflects that of the rest of the development, with brickwork of light and warm grey matching the colours elsewhere. Brickwork is used on expanses of wall wrapping around staircores and lift, framing glazed areas in between eg at community centre spaces. A darker grey brick forms a base to the building on the east, west and south sides.

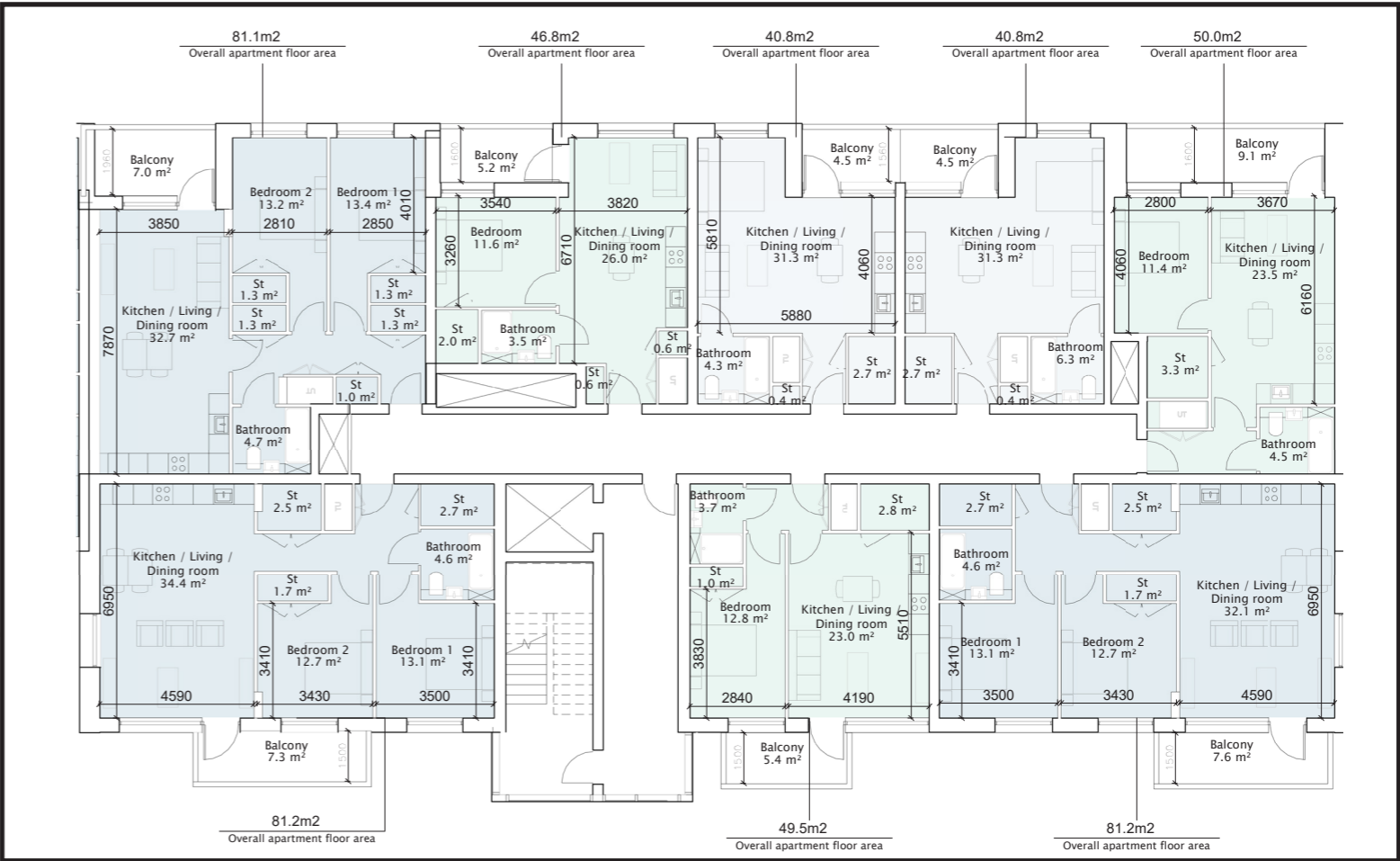
At the main entrance from the civic plaza precast concrete panels with vertical ribbed texture articulate the entrance condition as at entrances elsewhere, here with an integrated concrete bench. The Library façade is composed of aluminum clad curtain walling system at the lower level, and timber framed window wall system at the upper level with a combination of double glazed transparent, insulated coloured glass panels, and timber clad ventilation panels bringing some dynamism to the main public façade of the building. On the east and west facades selected timber is used for shading and cladding elements.



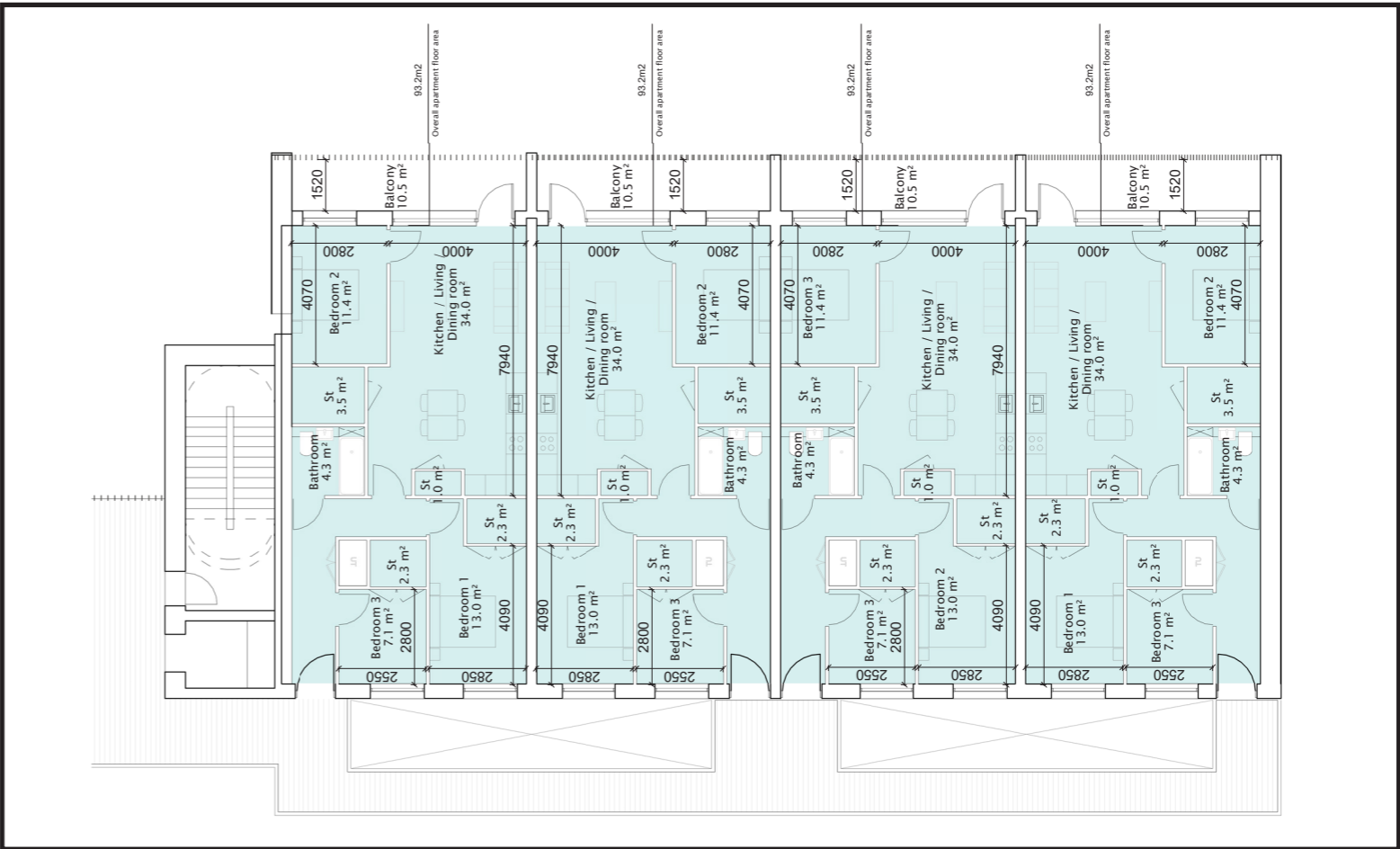
APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS
MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

Apartment Building Design - Block A

Courtyard block A north-south street edges are built from corridor accessed 8-unit / core blocks which are tightly planned using an in-situ concrete structural frame with a combination of 5 and 7 story blocks which alternate along Patriot's Path and St. Vincent Street West, and a 5 story block along the southern edge overlooking Goldenbridge Cemetery and 3 story townhouses along the northern edge sharing the east-west mews lane with the townhouses of Courtyard Block B. The block planning is based on achieving well proportioned apartments with good daylight access, the minimum dimensions required within the units and a very efficient net to gross area calculation to ensure a tight relationship between cost of construction the projects affordability. The unit typologies change across the overall block which is generally composed of studio apartments, 1 bedroom apartments, and 2 bedroom apartments. 3 bedroom apartments are generally located in the east-west blocks, with studio, one bedroom and two bedroom apartments located in the corridor accessed blocks. The gallery accessed block shares one cores with the blocks to the east.



Typical seven story corridor accessed block.

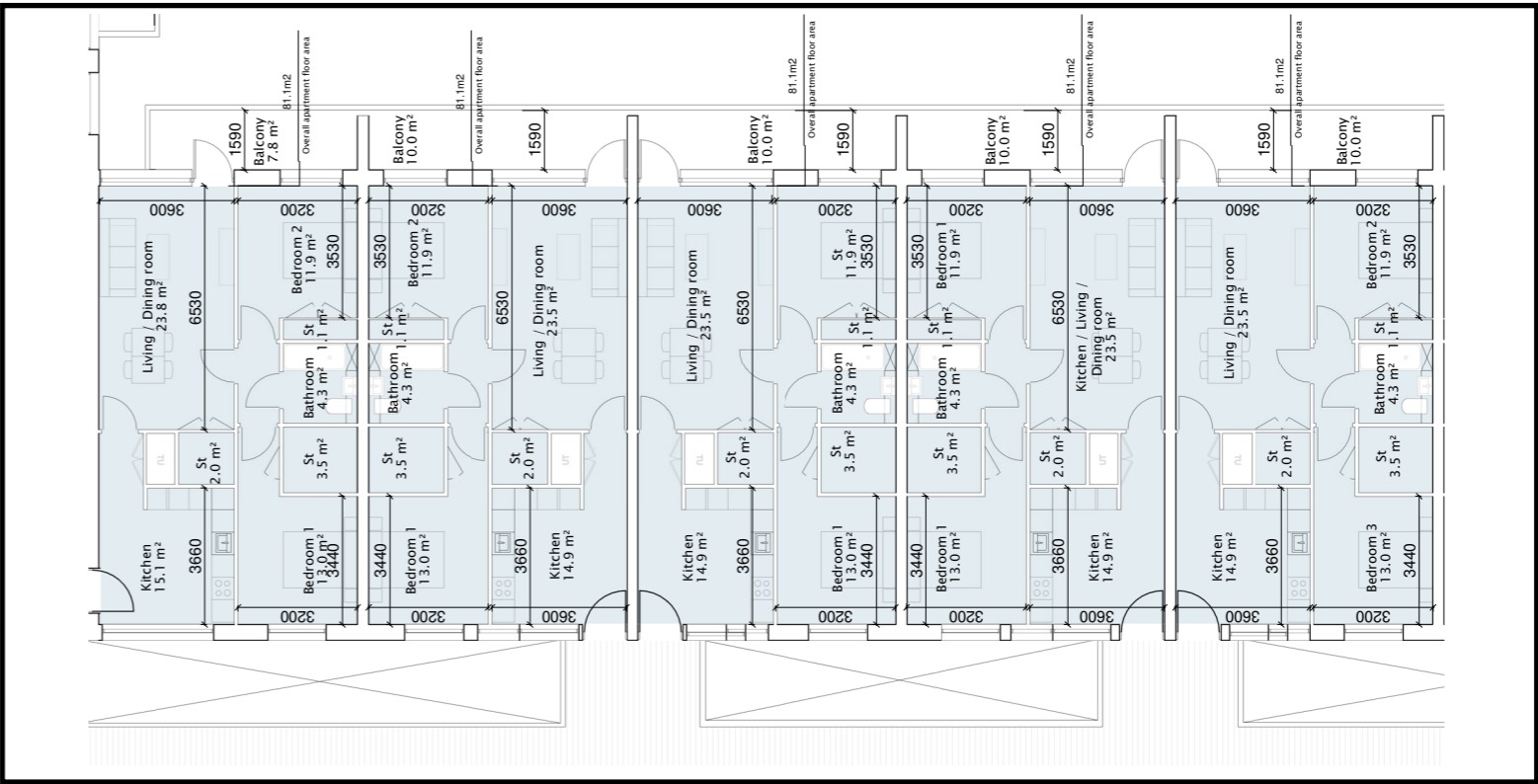
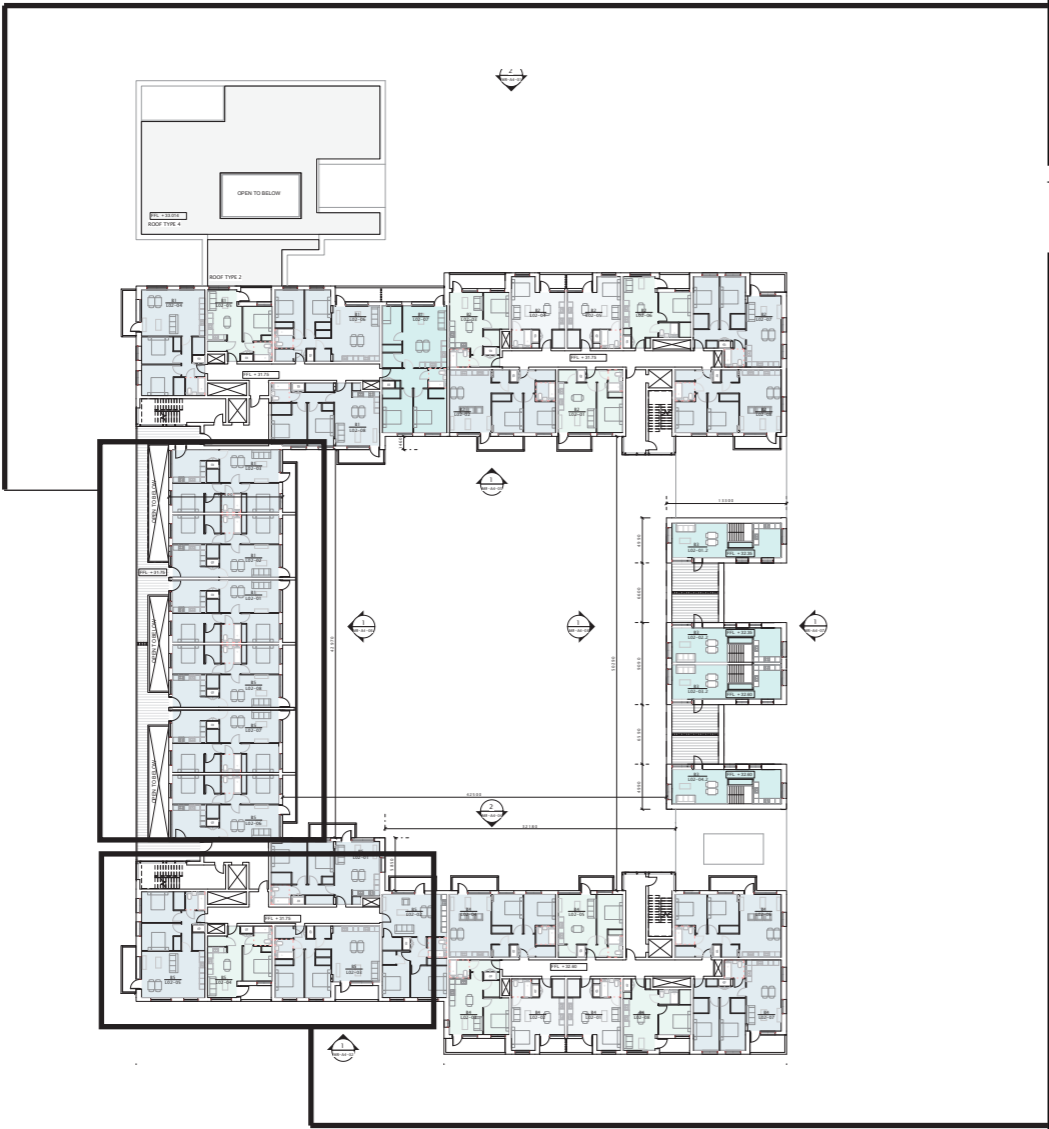


Typical five story gallery accessed block.

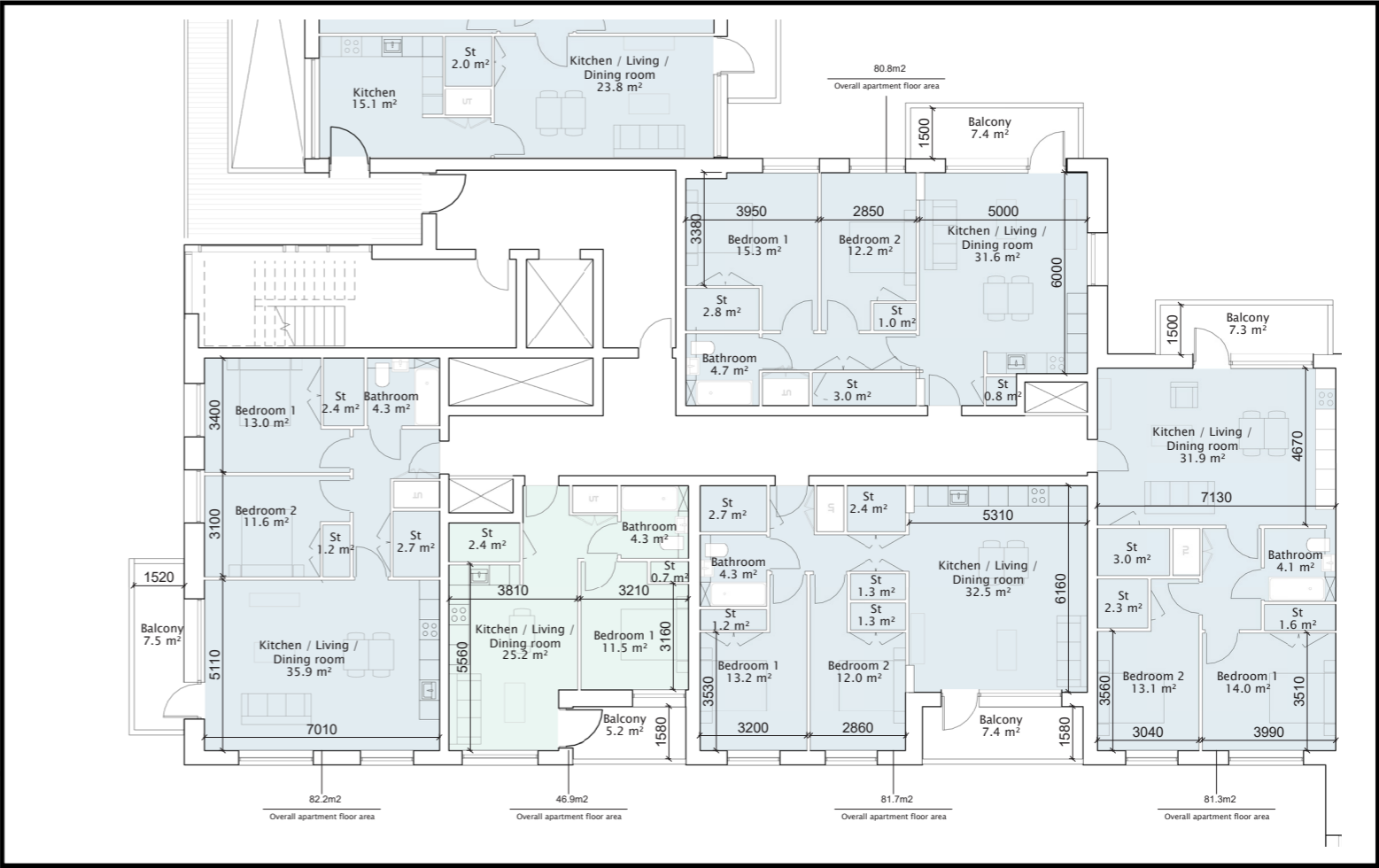
APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS
MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

Apartment Building Design - Block B

Courtyard block B is built from 8-unit / core blocks which are tightly planned using an in-situ concrete structural frame. The courtyard block is composed of 5 and 7 story blocks which alternate along the north-south streets, and a 5 story block along the northern edge and 3 story townhouses along the southern edge. The block planning is based on achieving well proportioned apartments with good daylight access, the minimum dimensions required within the units and a very efficient net to gross area calculation to ensure a tight relationship between cost of construction the projects affordability. The unit typologies change across the overall block which is generally composed of studio apartments, 1 bedroom apartments, and 2 bedroom apartments. 3 bedroom apartments are generally located in the east-west blocks, with studio, one bedroom and two bedroom apartments located in the corridor accessed blocks. The gallery accessed block shares two cores with the blocks to the east and west.



Typical five story gallery accessed block



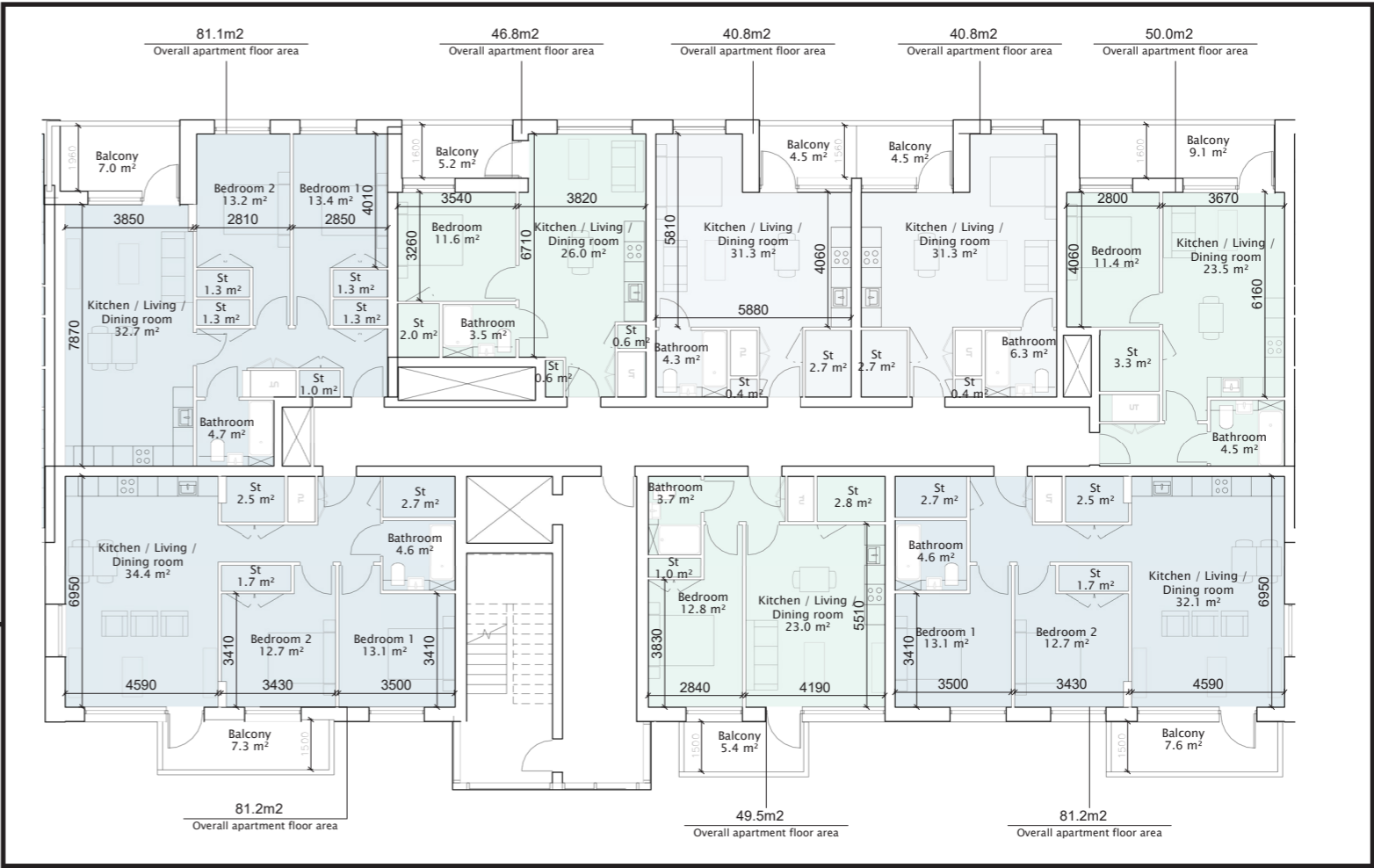
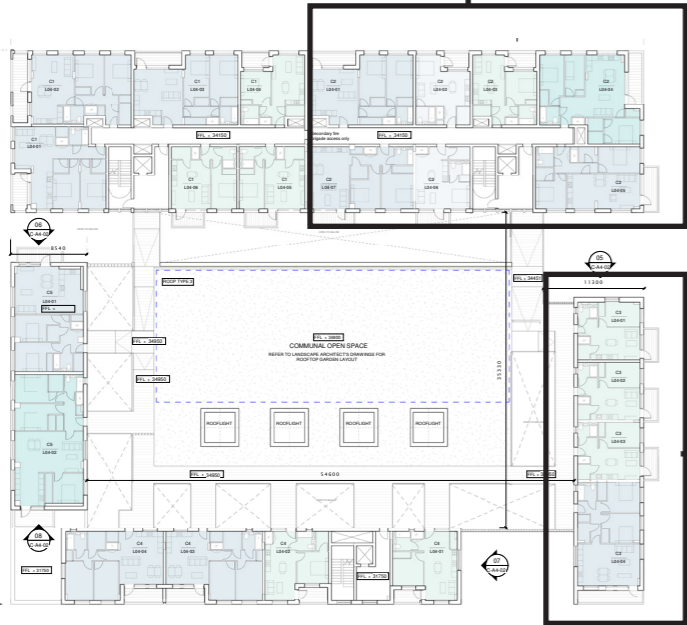
Seven story Core Accessed block

APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS

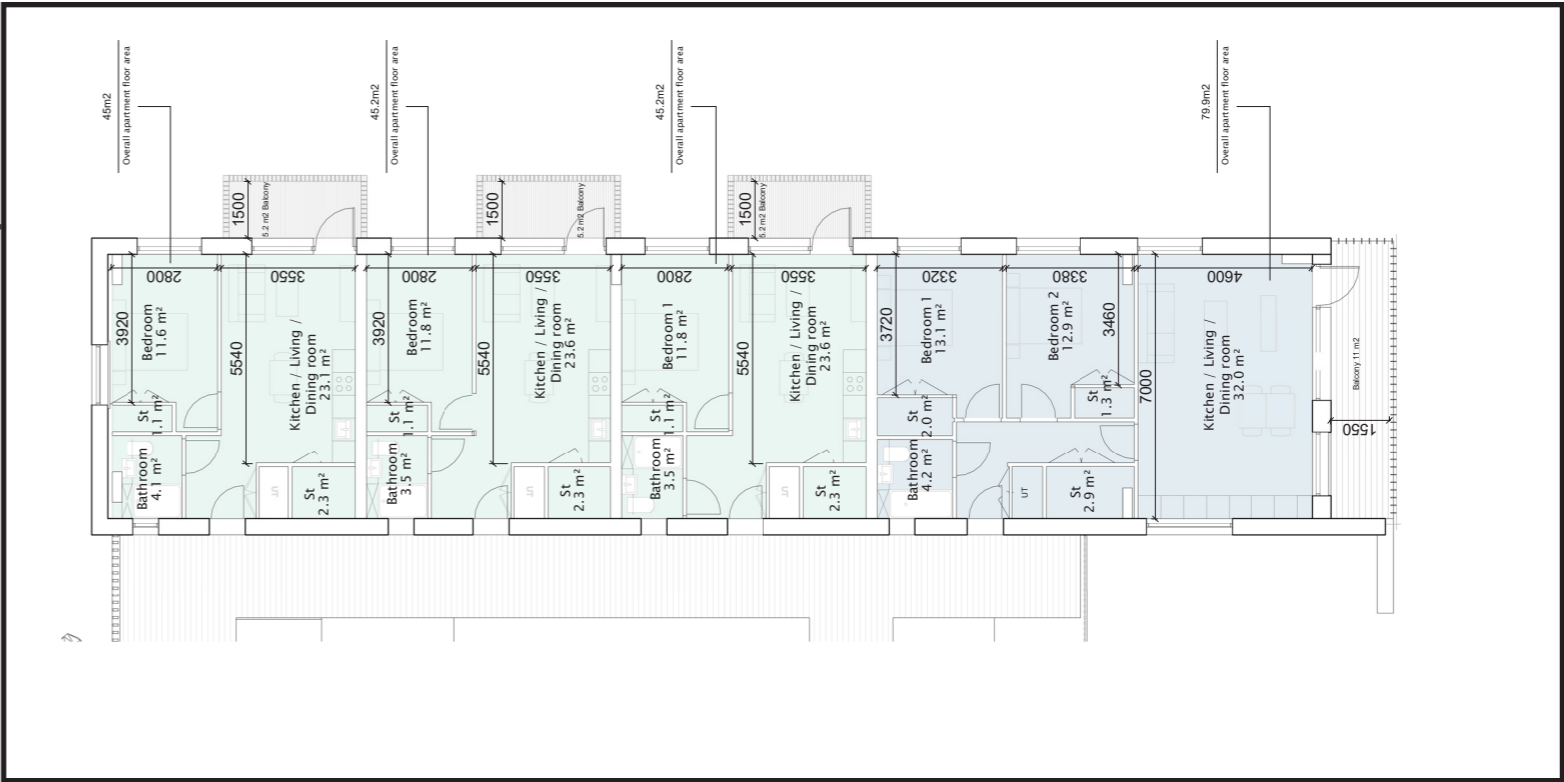
MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

Apartment Building Design - Block C

Courtyard block C is built from 8-unit / core blocks which are tightly planned using an in-situ concrete structural frame. The courtyard block is composed of one 5 and 7 story block along the north-south pedestrian street, a 5 story block along St. Vincent Street West above 2 stories of retail, a 5 story block along Emmet Place* above 2 stories of retail, and a 5 story block along the southern edge. The block planning is based on achieving well proportioned apartments with good daylight access, the minimum dimensions required within the units and a very efficient net to gross area calculation to ensure a tight relationship between cost of construction the projects affordability. The unit typologies are spread evenly across blocks. Communal open space is located on the roof of the supermarket and is accessed



Typical seven story corridor accessed block



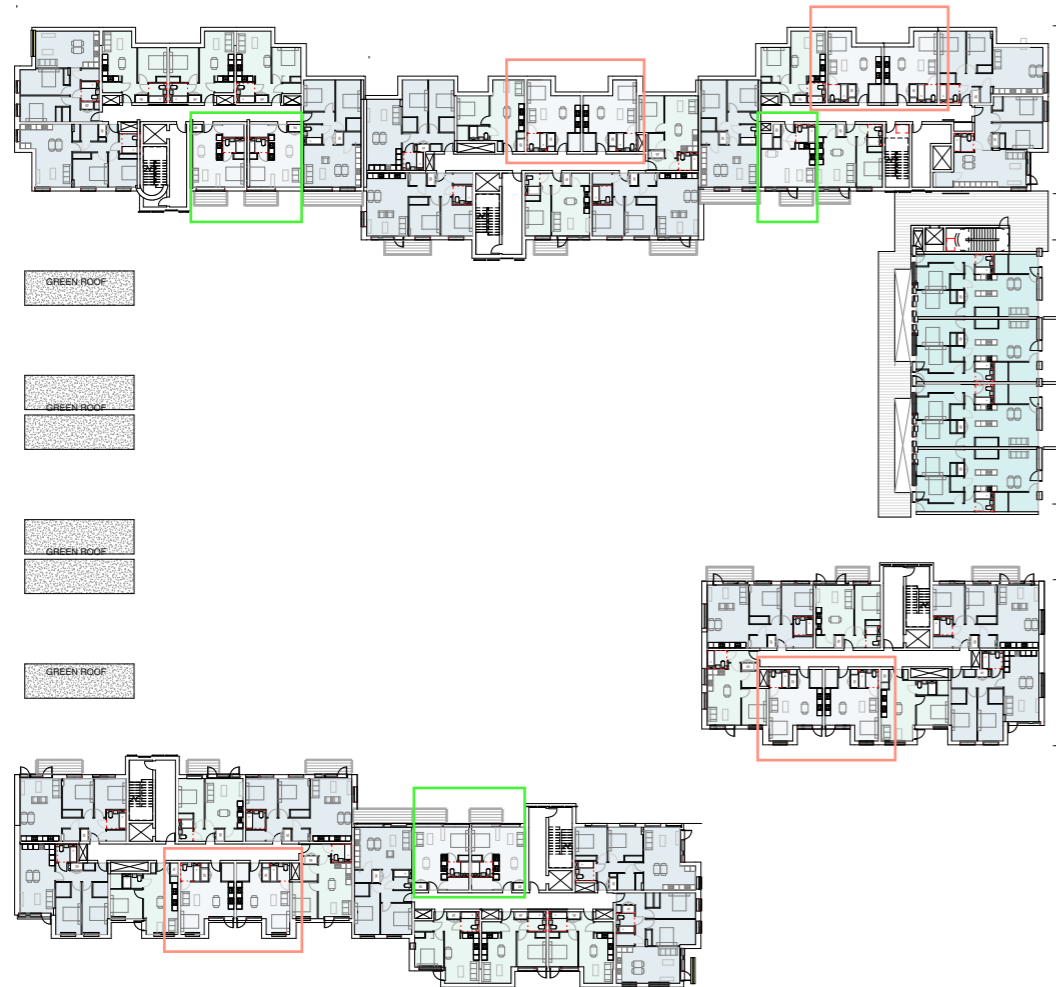
Typical gallery accessed block

APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS

MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

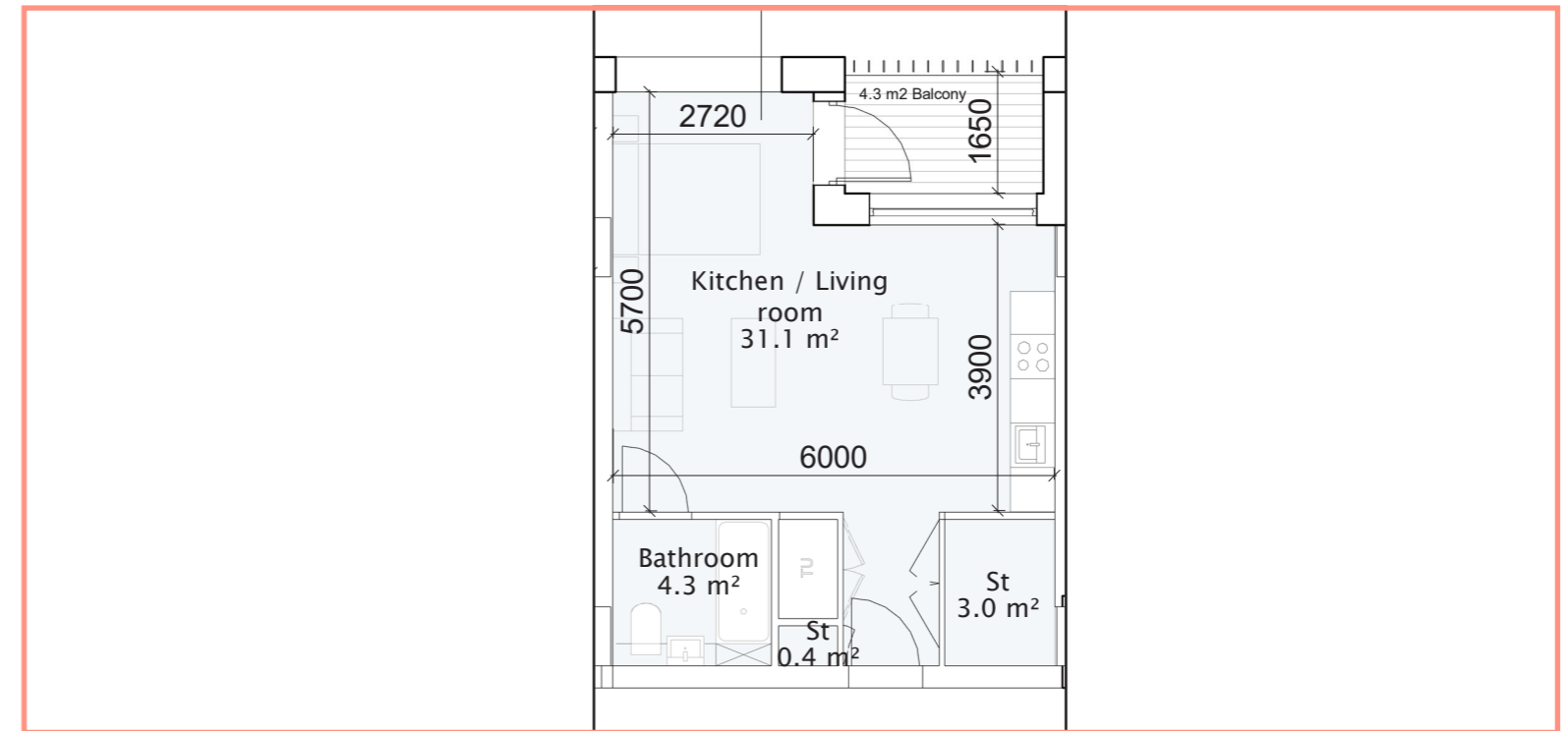
Studio Apartments

Studio Apartments are based on creating well proportioned homes, with high floor to ceilings, well proportioned windows and layouts that allow for flexible living. There are two variants - one with an inward balcony located on the north-south streets and one variant with a cantilevered balcony that overlooks the courtyard. Studio apartments are planned such that sleeping spaces and living spaces are spatially separated by the kitchen. Bathrooms are located directly off the sleeping spaces. Meeting the minimum standard requirements for overall m2, minimum widths, daylight incorporating size of windows / depth of room / arrangement of furniture. Generally units are stacked vertically within each block, and studio apartments are distributed across the typical courtyard floor plate.

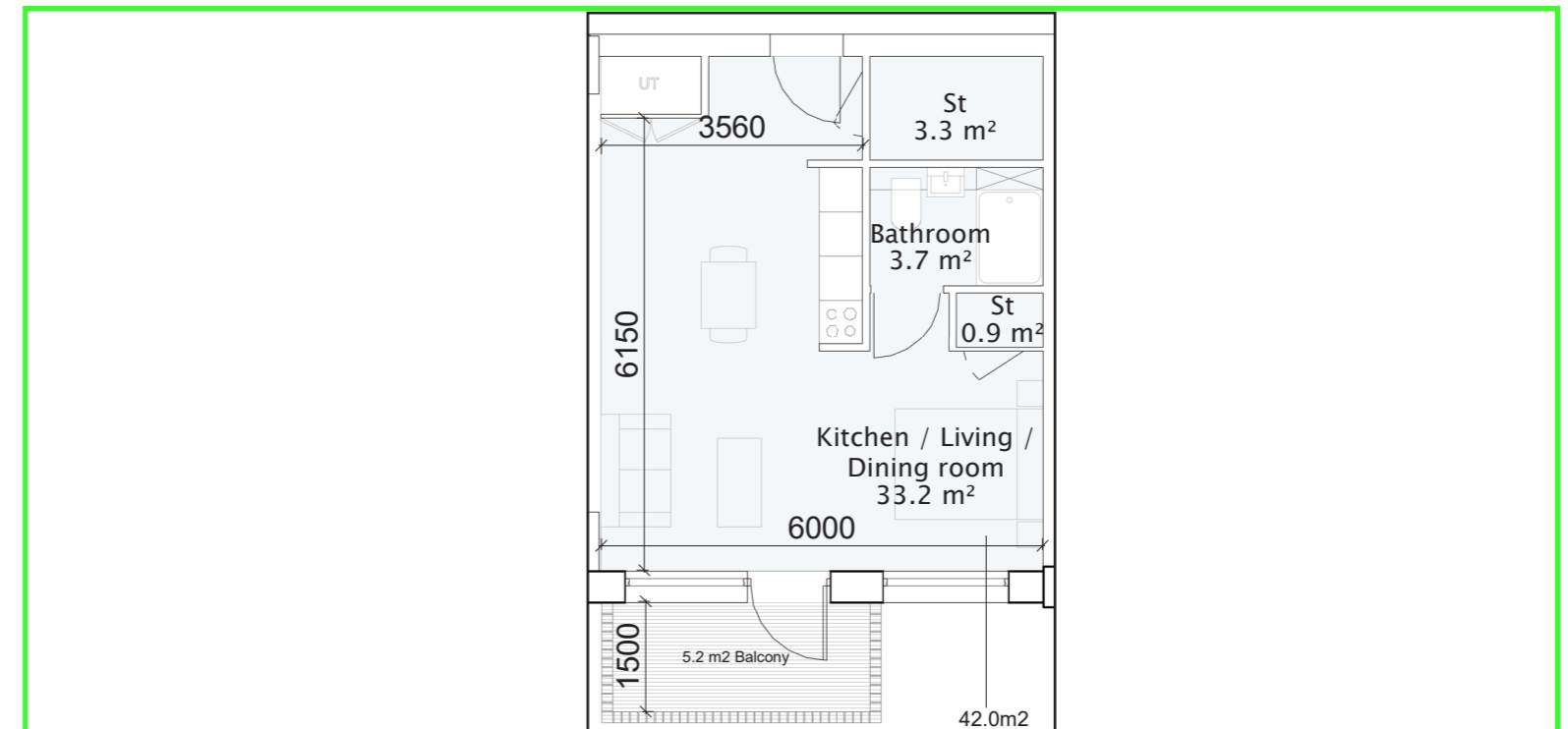


Location of Studio apartments within courtyard block

STUDIO TYPOLOGY 1:100



Studio with inward balcony



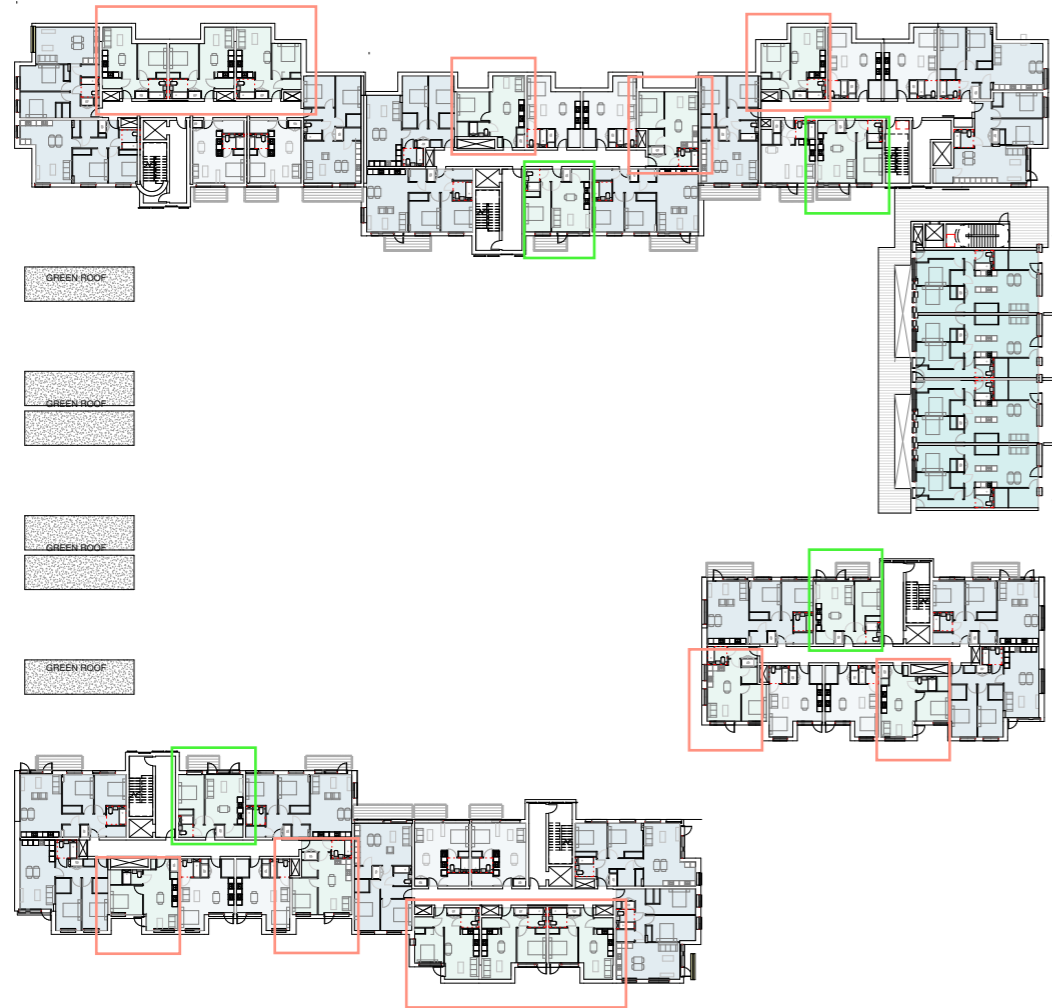
Studio with cantilevered balcony

APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS

MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

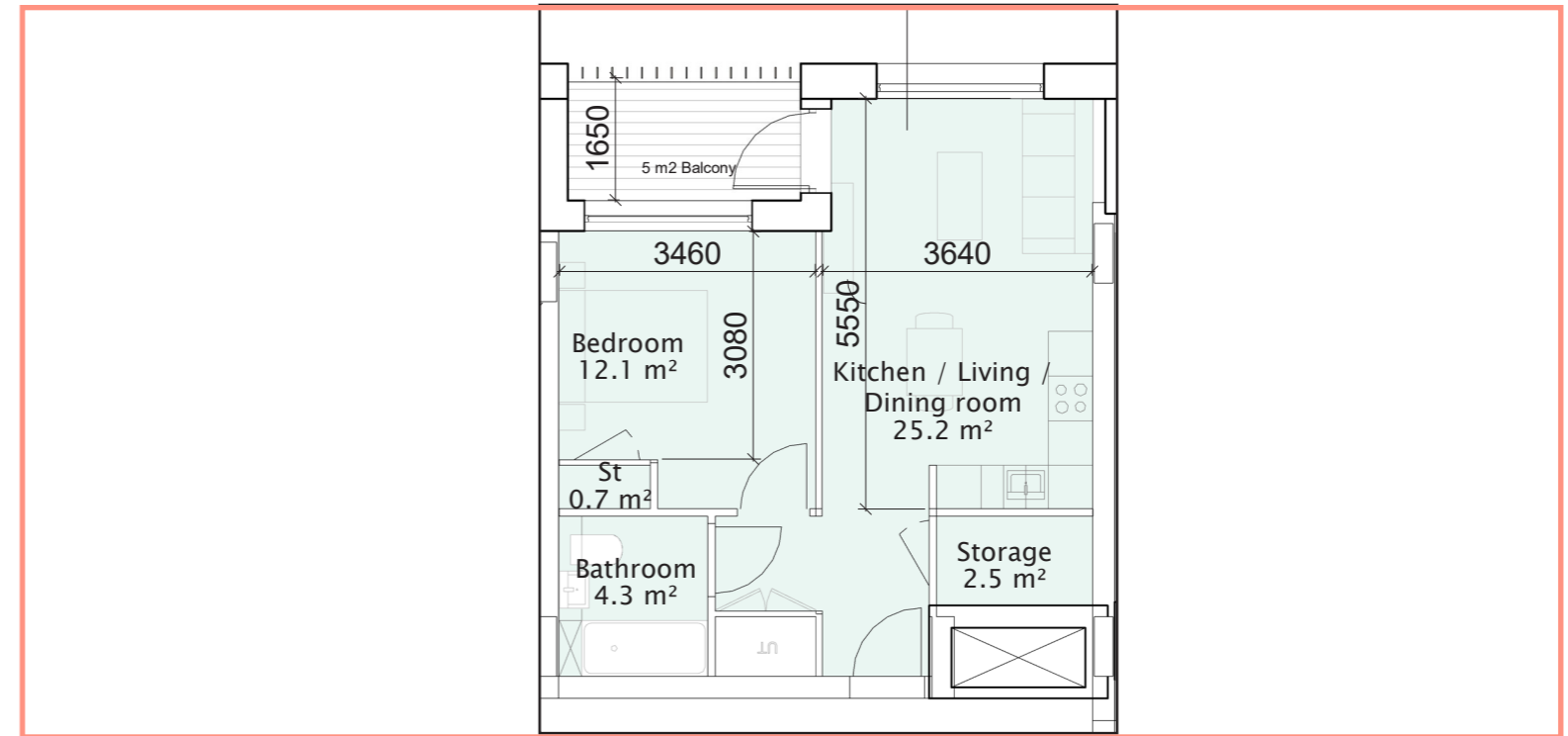
One bedroom Apartments

One bedroom Apartments are based on creating well proportioned homes, with high floor to ceilings, well proportioned windows and layouts that allow for flexible living. Typically there are two variants - one with an inward balcony located on the north-south streets and one variant with an cantilevered balcony that overlooks the courtyard. Entrances are spatially separated from the living and sleeping spaces by the storage and the bathroom. Entrances open with a view directly to the balcony. One bedroom Apartments meet the minimum standard requirements for overall m2, minimum widths, daylight incorporating size of windows / depth of room / arrangement of furniture. Generally units are stacked vertically within each block, and the typologies of units is mixed across the floorplate. The inward and outward location of the terrace means there are a variety of types of this unit within any given block.

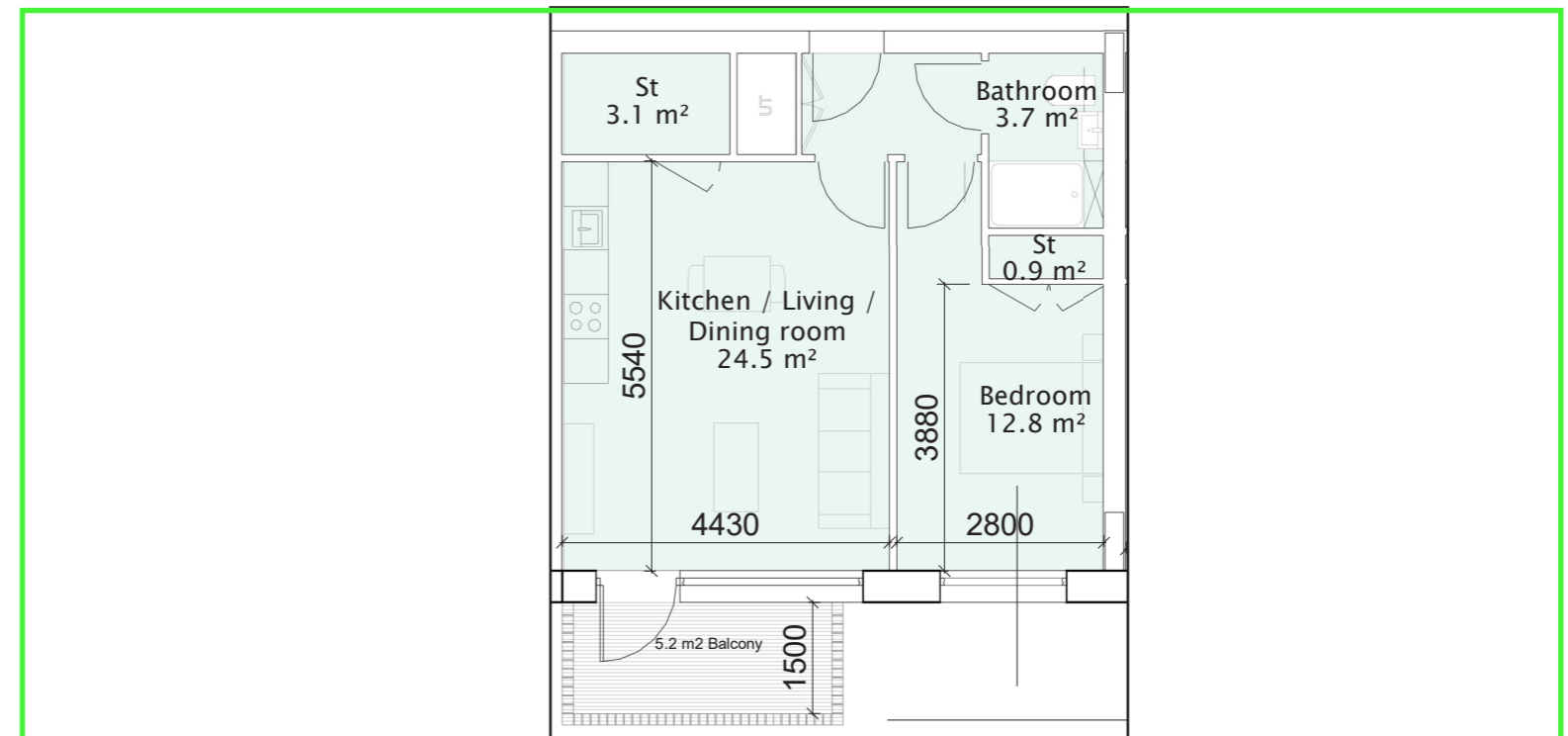


Location of 1BR apartments within typical block

1 BEDROOM TYPOLOGY 1:100



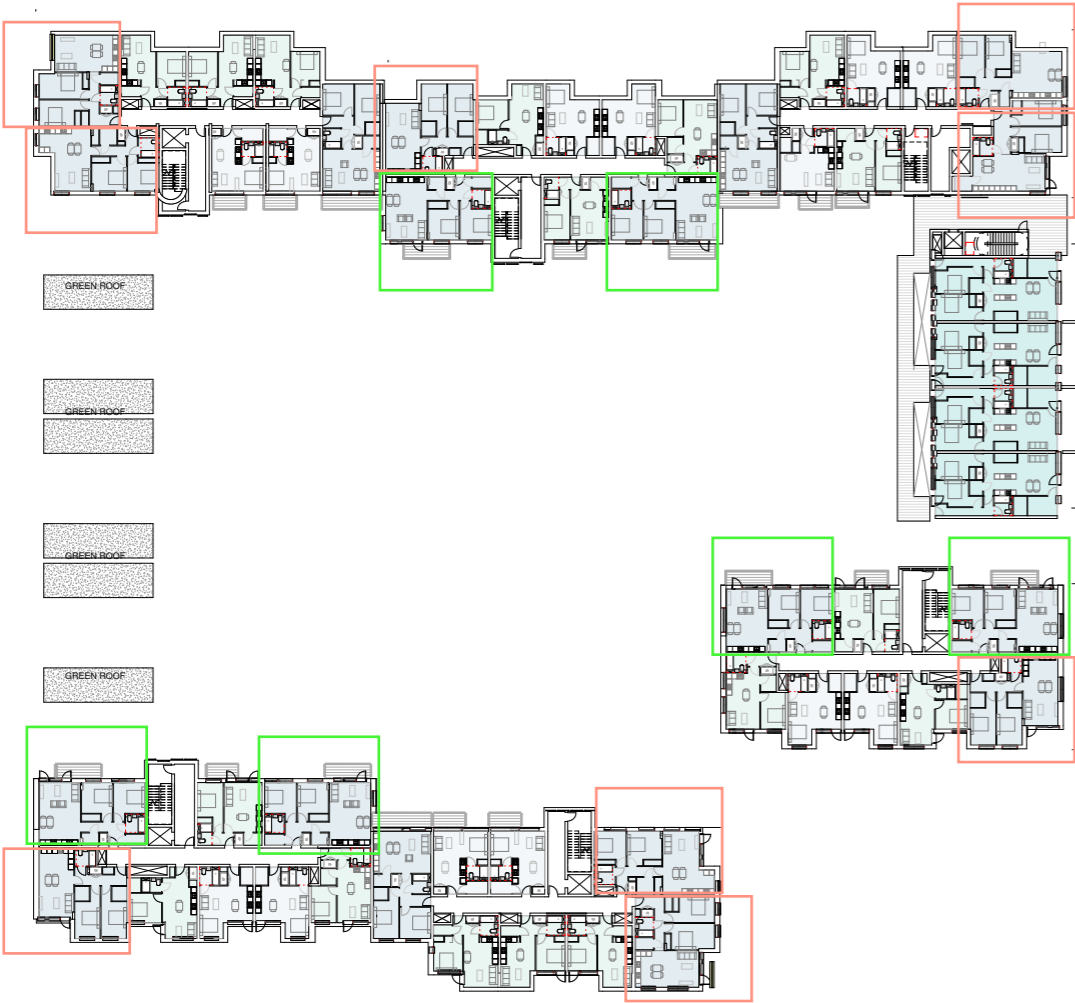
One bedroom with inward balcony



One bedroom with cantilevered balcony

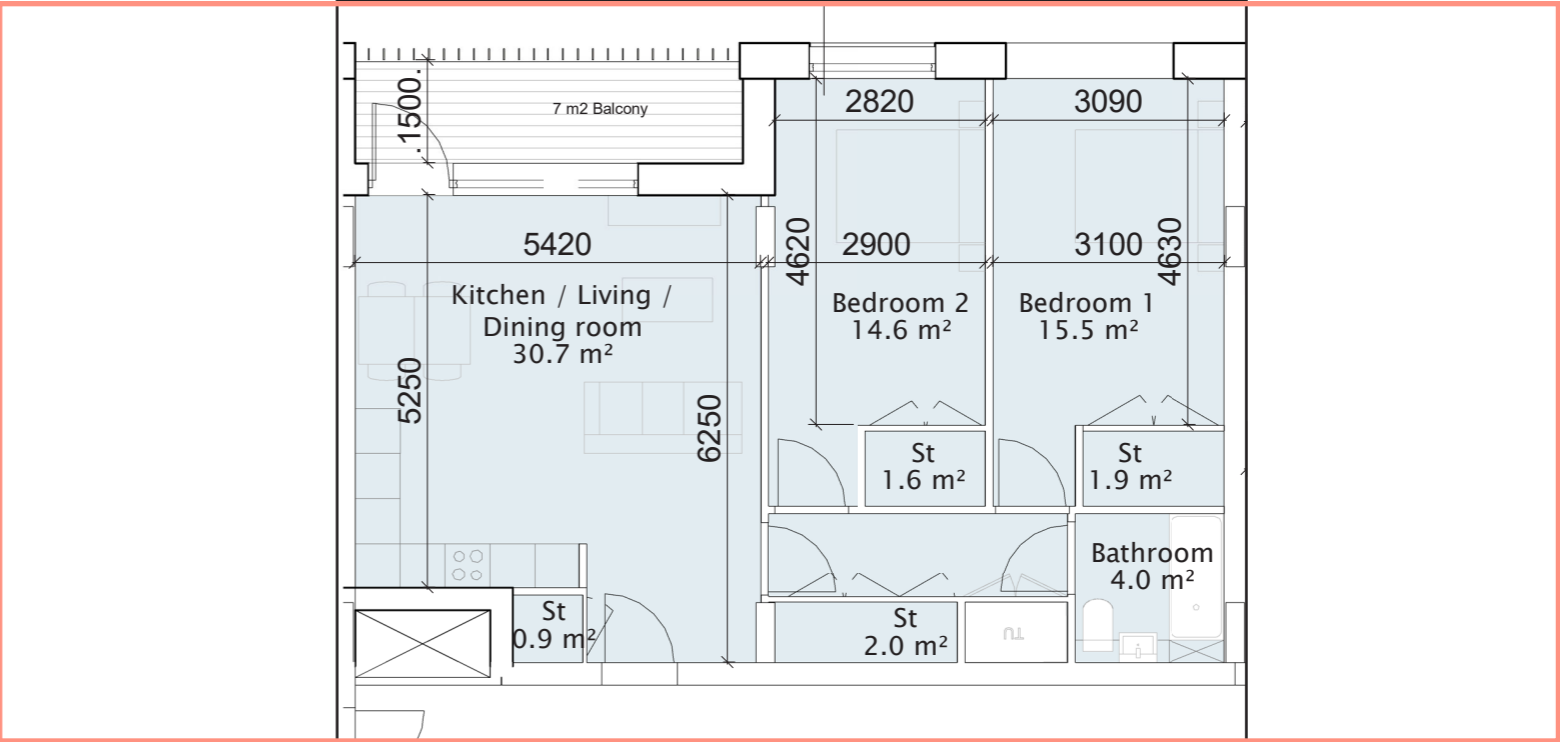
Two bedroom Apartments

Two bedroom Apartments are based on creating well proportioned homes, with high floor to ceilings, well proportioned windows and layouts that allow for flexible living. Typically there are two variants - one with an inward balcony located on the north-south streets and one variant with an cantilevered balcony that overlooks the courtyard. Kitchen Living Dining spaces are entered from the side allowing the living areas maximum flexibility. Two bedroom Apartments meet the minimum standard requirements for overall m2, minimum widths, daylight incorporating size of windows / depth of room / arrangement of furniture. Generally units are stacked vertically within each block, and the typologies of units is mixed across the floor plate. The inward and outward location of the terrace means there are a variety of types of this unit within any given block.

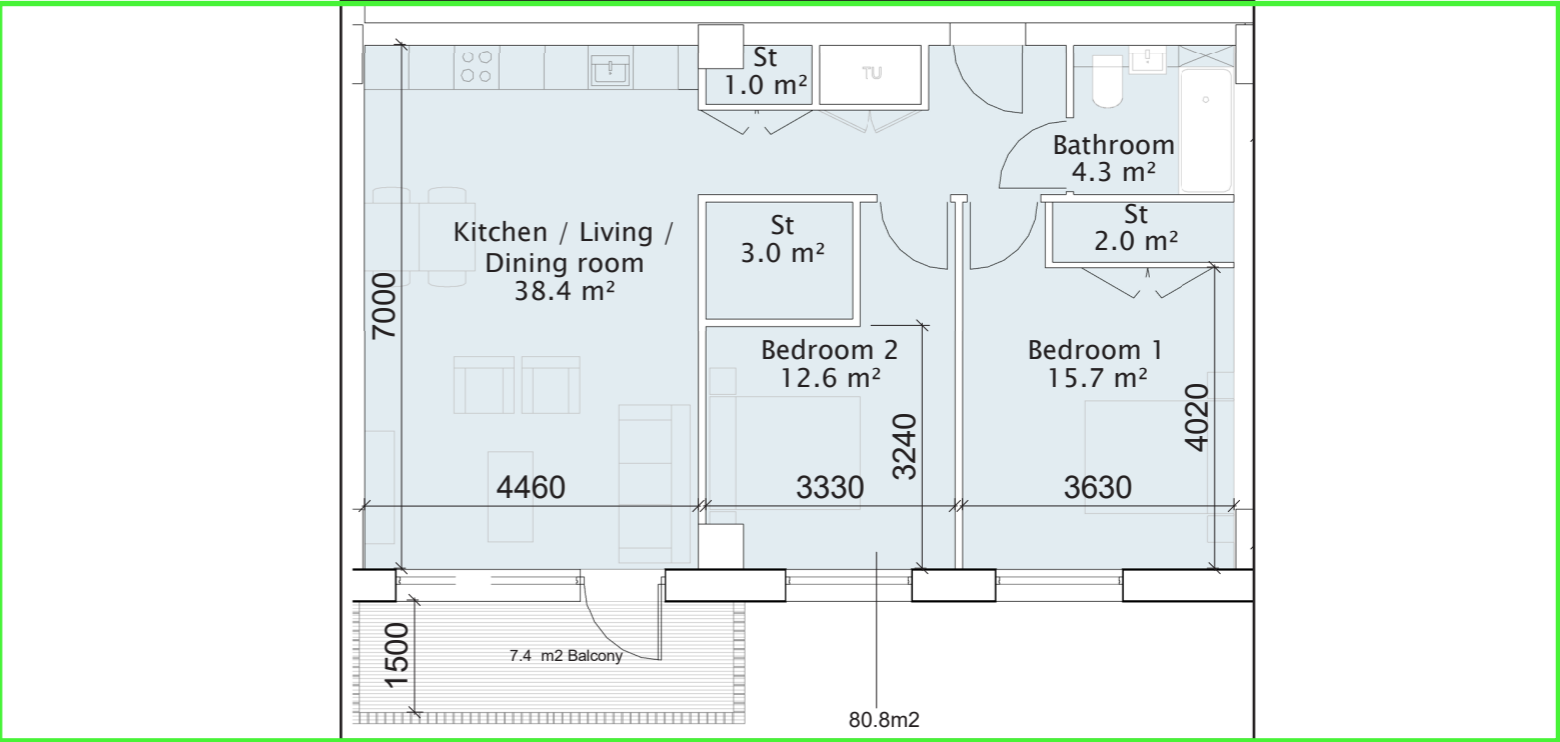


Location of 2BR apartments within typical block

2 BEDROOM TYPOLOGY 1:100



Two bedroom with inward balcony



Two bedroom with cantilevered balcony

APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS
MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

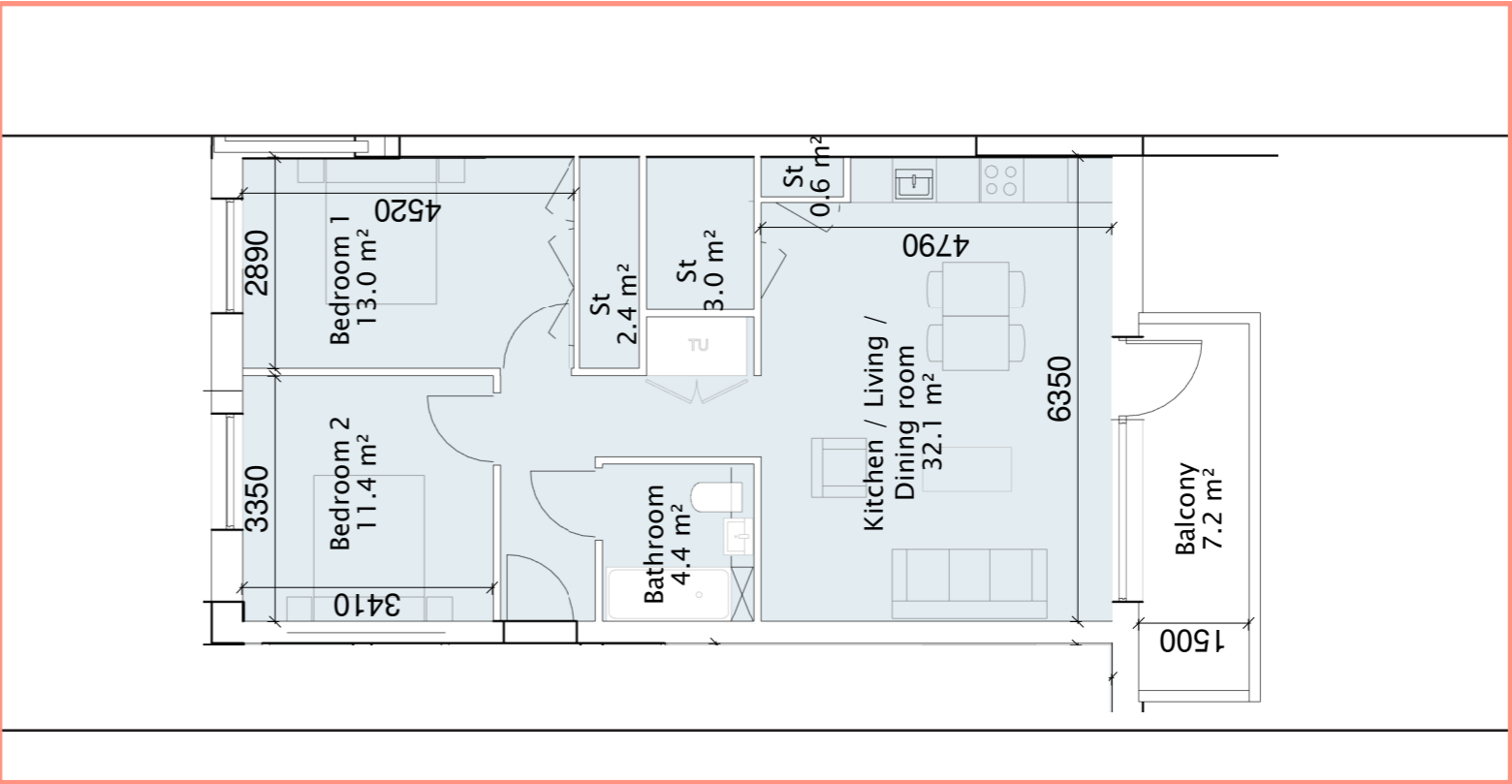
Two bedroom Apartments

Two bedroom Apartments are based on creating well proportioned homes, with high floor to ceilings, well proportioned windows and layouts that allow for flexible living. Typically there are two variants - one with an inward balcony located on the north-south streets and one variant with an cantilevered balcony that overlooks the courtyard. Kitchen Living Dining spaces are entered from the side allowing the living areas maximum flexibility. Two bedroom Apartments meet the minimum standard requirements for overall m2, minimum widths, daylight incorporating size of windows / depth of room / arrangement of furniture. Generally units are stacked vertically within each block, and the typologies of units is mixed across the floor plate. The inward and outward location of the terrace means there are a variety of types of this unit within any given block.

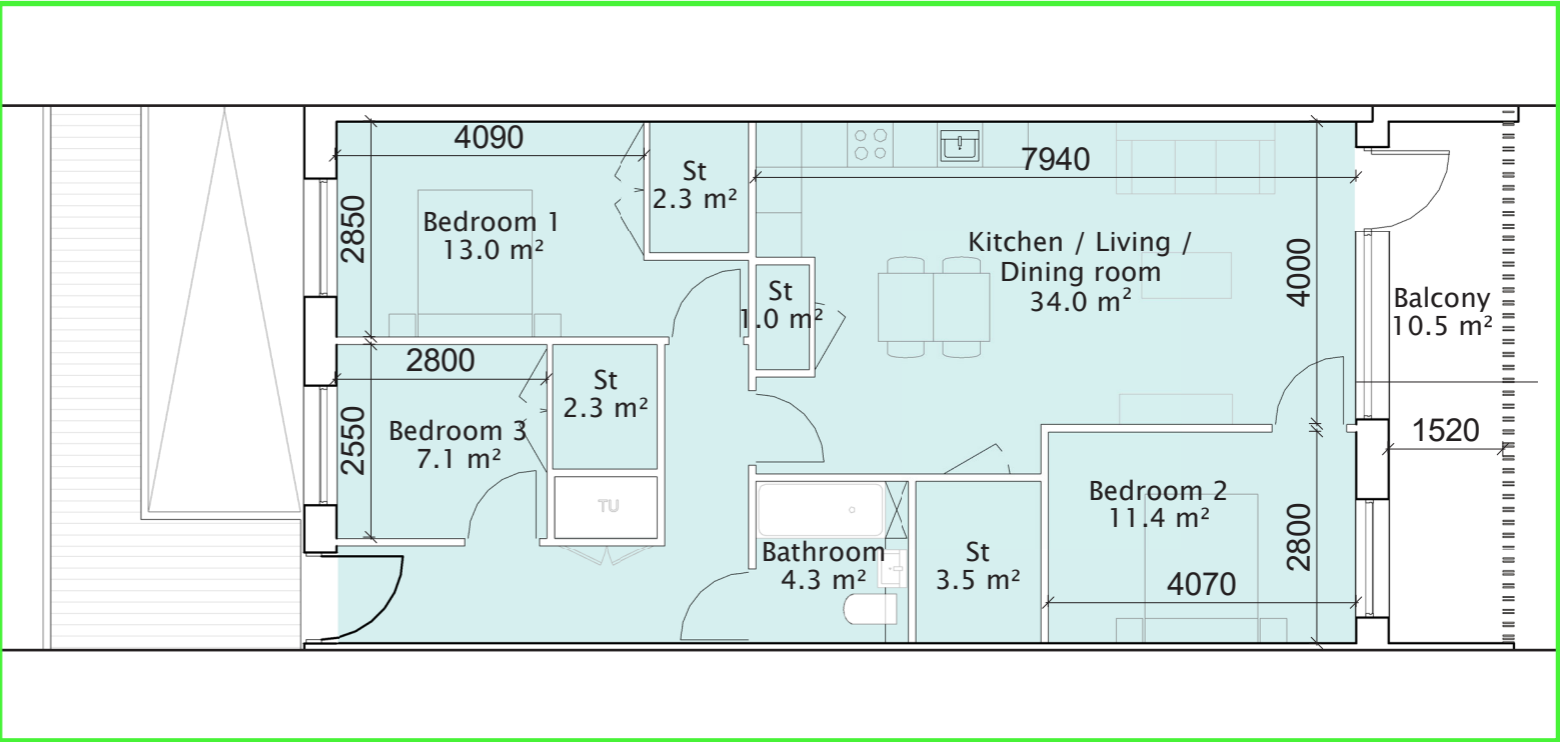


Location of 2BR apartments within typical block

2 BEDROOM TYPOLOGY 1:100



Two bedroom gallery accessed through unit



Two bedroom corridor accessed through unit

APPENDIX BLOCKS AND TYPOLOGIES LAYOUTS

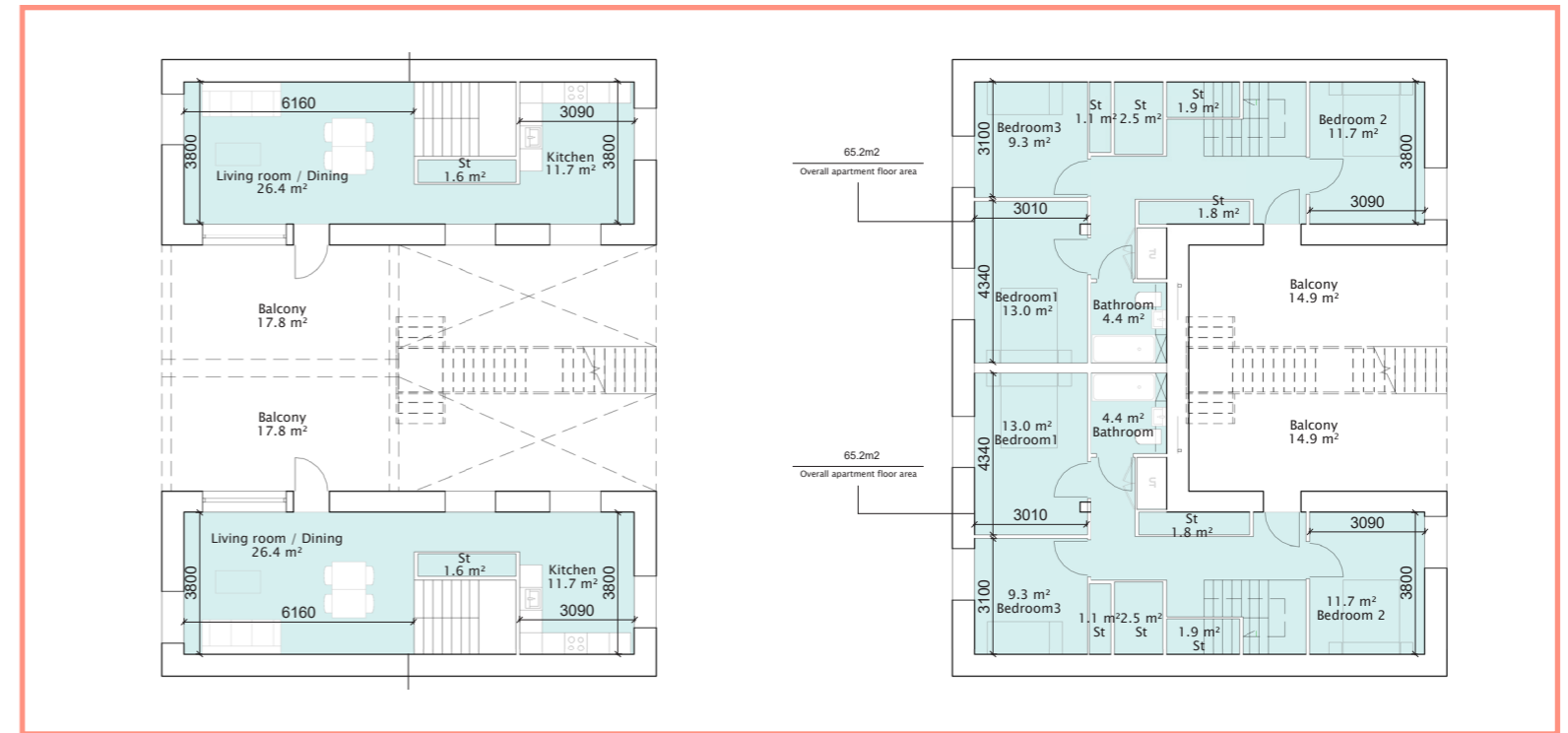
MAIN RESIDENTIAL HOME LAYOUTS / COMPLIANCE WITH GUIDELINES

Mews Apartments : Three and two bedroom Apartments

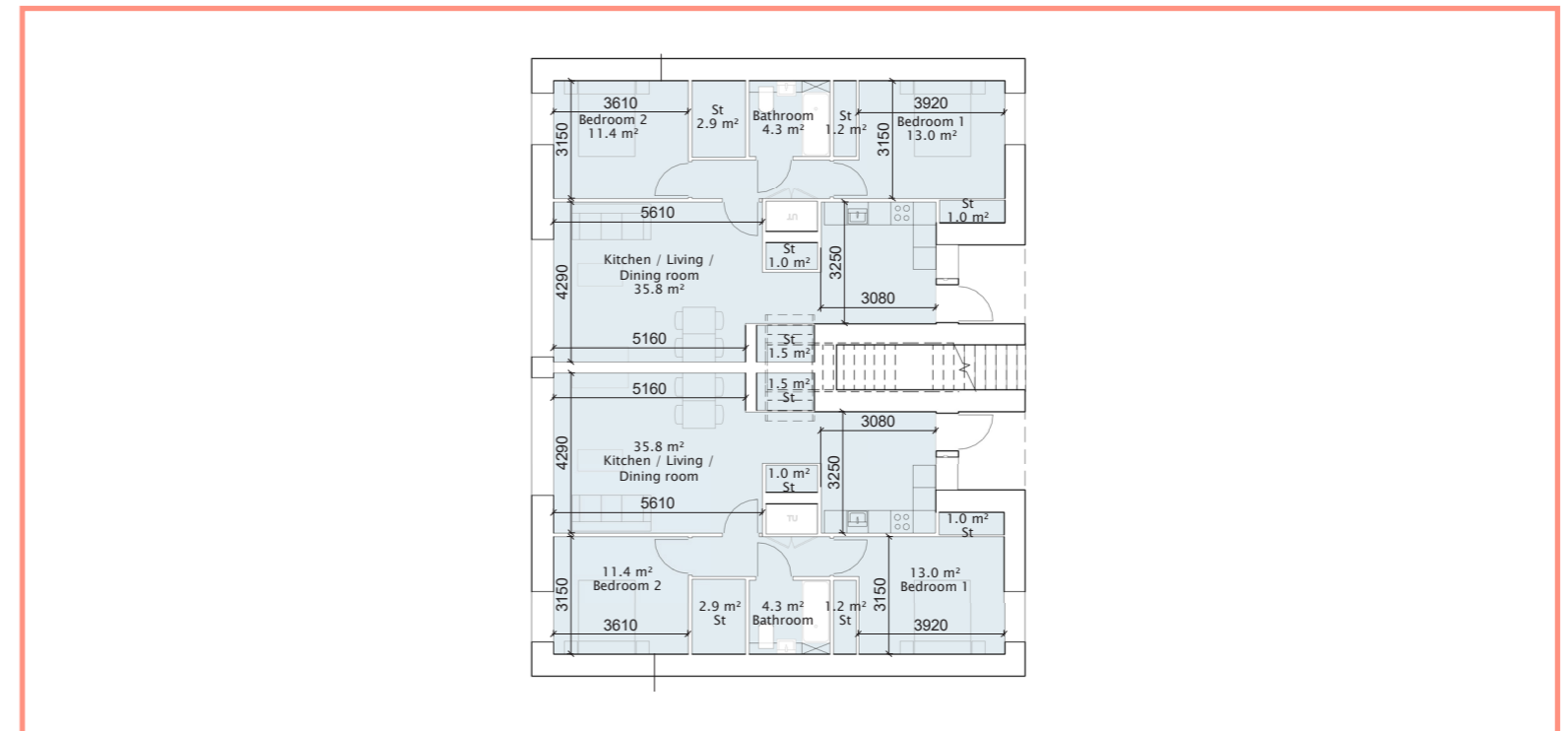
Two and Three bedroom Apartments in the Mews blocks are based on creating well proportioned homes, with high floor to ceilings, well proportioned windows and layouts that allow for flexible living. Typically is one variants - a through unit with dual aspect. Kitchen Living Dining spaces are entered from the side allowing the living areas maximum flexibility. Two bedrooms are located on the north facing elevation, and the third bedroom is directly off the living space to allow for flexibility in use. Three bedroom Apartments meet the minimum standard requirements for overall m2, minimum widths, daylight incorporating size of windows / depth of room / arrangement of furniture. Generally units are stacked vertically within each block, and the typologies of units is mixed across the floor plate.



3 BEDROOM TYPOLOGY 1:100



Three bedroom mews first and second floor



Two bedroom mews ground floor

APPENDIX DESIGN EVOLUTION & ALTERNATIVES CONSIDERED

Refer to Chapter 2 of the Environmental Impact Assessment Report for an outline of alternatives considered in the development of the master-plan design for the site.

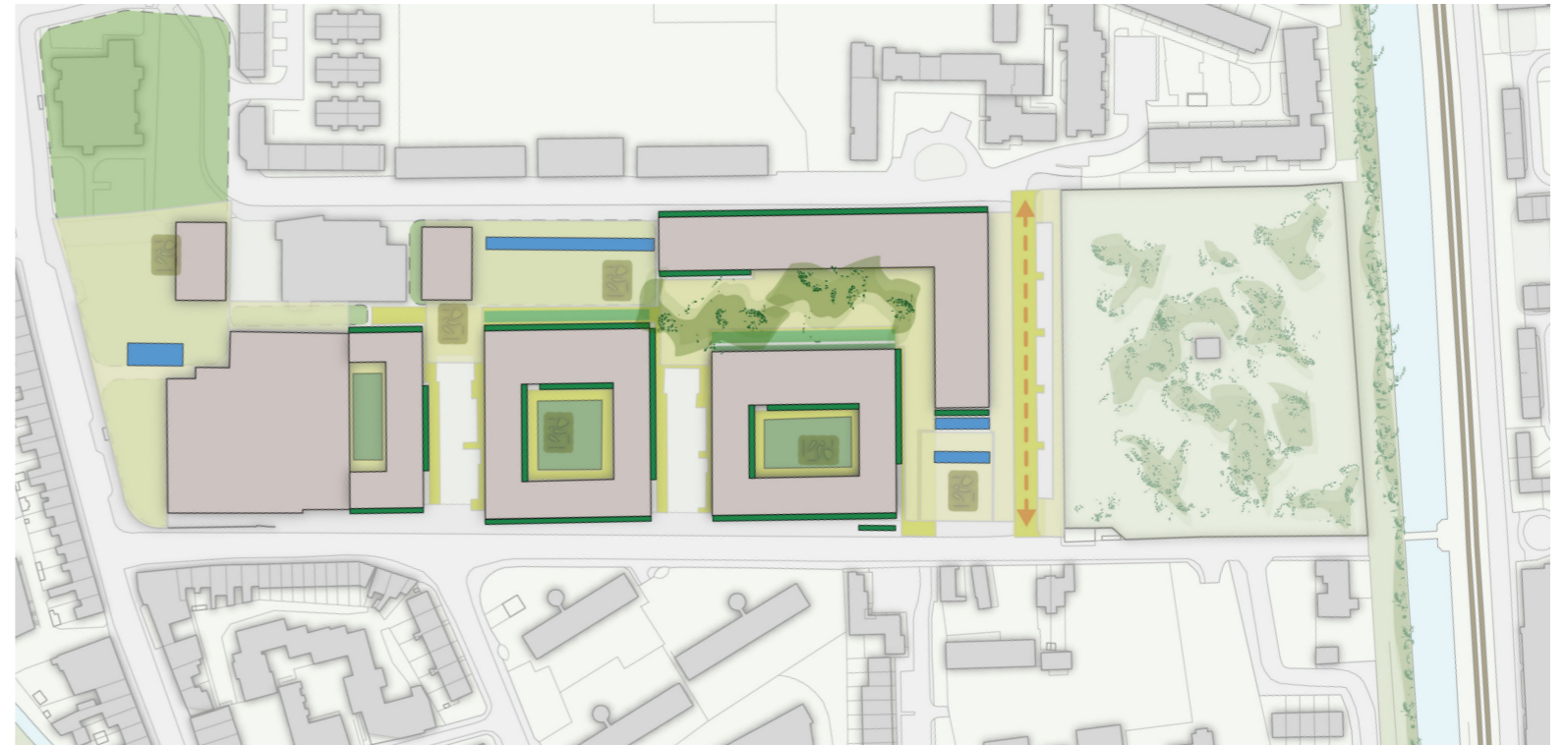
Early schemes considered several issues that were framed by the Development Framework Plan and a height strategy framed by the Ministerial Guidelines 2018. The Development Framework Plan placed an emphasis on north-south connectivity through the project rather than a strong streets agenda which is preferred in the final scheme. The Ministerial Guidelines allow for taller buildings and smaller studio apartment sizes. These were ultimately dismissed as not complying with the Dublin City Council Development plan and therefore were not pursued as options.

Scheme A

A courtyard scheme with an "L" shaped block holding the southeast corner of the project. The courtyard blocks are separated by shared street zones for residents parking. Taller residential blocks for the schemes have been concentrated in the centre of the development site stretched out along the north-south axis. This allows the eastern and western edges to remain lower (typically 4 stories) in height, and provides the potential for an architecturally and urbanistically significant scale around the larger new public green spaces created by the project. The taller parts of the project and the garden spaces are associated with each other so that the ensemble of trees, balconies and stepped terraces harmoniously blends the internal space of each apartment with the garden space.

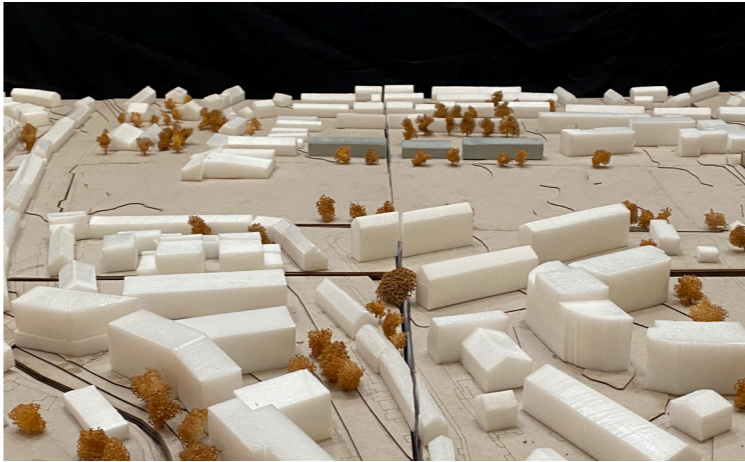
Scheme B

A hybrid courtyard scheme with a series of courtyards that alternately open to St. Vincent Street West and the to the north-south running connecting garden to the east. Taller residential blocks for the schemes have been concentrated in the centre of the development site stretched out along the north-south axis. Permeability of the this scheme is mainly along the north-south axis connecting Emmet road with an east-west crossing shared street that is aligned with Emmet Crescent. The southeast corner of the project is framed by a series of blocks which are not connected in order to allow connectivity between the north-south stretching green space and Patriot's Path.



APPENDIX DESIGN EVOLUTION & ALTERNATIVES CONSIDERED

A 1:500 scale model was built in order to study different scenario massing options, spatial relationships with the existing urban fabric, heights and topography. The model was used to explain the project's concepts to the stakeholders in order that a clear three-dimensional understanding of the massing implications and the urban design could be clearly communicated, and understood. The model was used throughout the design development as a tool of communication of design and urban design concepts.



1:500 Scale model viewed from west looking east to Richmond Barracks



1:500 Scale model viewed from south looking north to Emmet Road



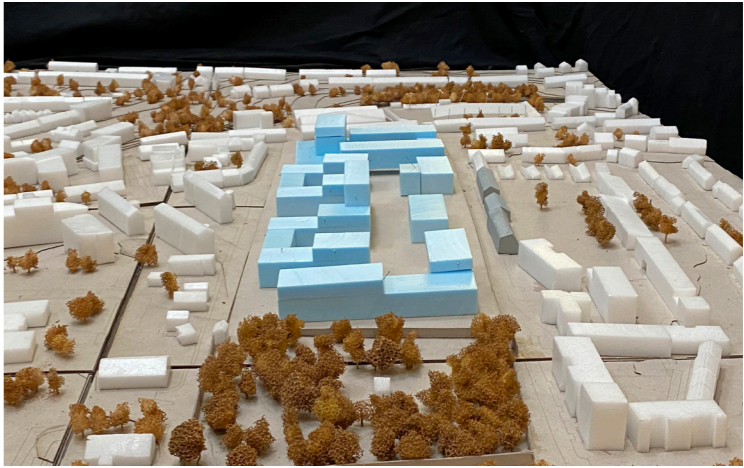
1:500 Scale model viewed from west looking east to Richmond Barracks Scheme A



1:500 Scale model viewed from south looking north to Emmet Road Scheme A



1:500 Scale model viewed from west looking east to Richmond Barracks Scheme B



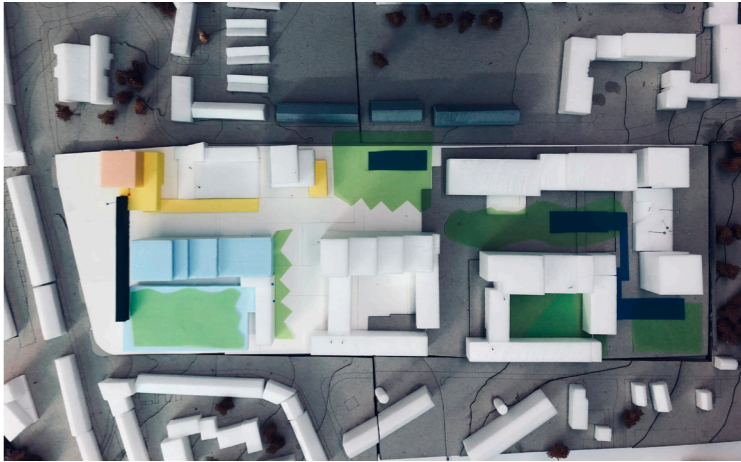
1:500 Scale model viewed from south looking north to Emmet Road Scheme B

APPENDIX DESIGN EVOLUTION & ALTERNATIVES CONSIDERED

The model was used to develop the project design in terms of the height and massing, the proportion of the courtyard spaces, the quality and scale of the public spaces, and the impact of the massing on the daylighting of communal open spaces and public open spaces. The model was also used to study in detail and present to the client and stakeholders the urban design issues, urban massing, quality and proportion of spaces created. Particular attention to the quality of the public realm and the street-scapes was studied in the models.



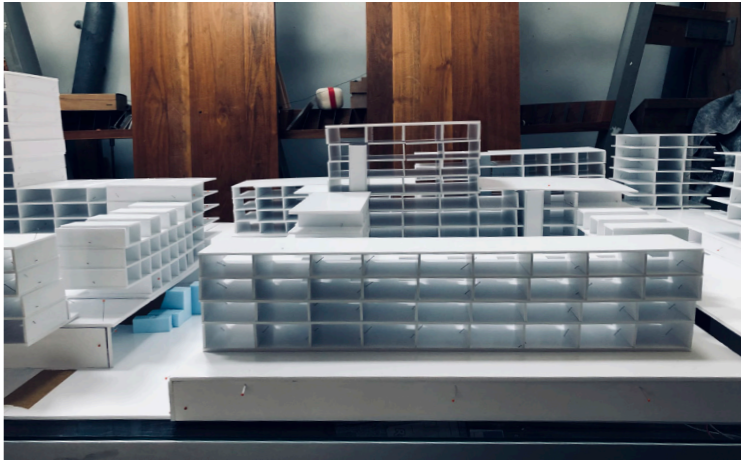
1:500 Scale model viewed from northwest looking southeast
Scheme A



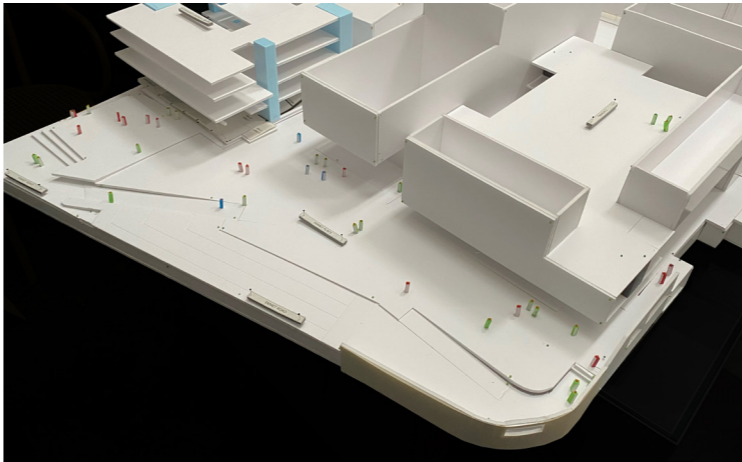
1:500 Scale model viewed from above
Scheme A



1:100 Scale model viewed from northwest looking southeast
Scheme A



1:100 Scale model viewed from northwest looking southeast
Scheme A



1:100 Scale model viewed from above, Emmet Place*
Final Scheme



1:100 Scale model viewed from west looking east along east-west pedestrian
street, Final Scheme